



**ORCHARD VIEW SCHOOL DISTRICT**  
**MIDDLE SCHOOL KITCHEN**  
**RENOVATIONS**  
35 S SHERIDAN DR  
MUSKEGON, MI 49442

2/15/2023

**PROJECT CONTACT LIST**

**OWNER:**  
- ORCHARD VIEW SCHOOLS  
- 35 S SHERIDAN DR  
MUSKEGON, MI  
- CONTACT:  
KAYLEIGH MACOMBER  
JACK TIMMER

**ARCHITECT:**  
- BERGMANN  
- 560 5TH ST, SUITE 305  
GRAND RAPIDS, MI  
- CONTACT: BUDDY HUYLER  
- PHONE: 616.848.6969

**ELECTRICAL ENGINEER:**  
- BERGMANN  
- 560 5TH ST, SUITE 305  
GRAND RAPIDS, MI  
- CONTACT: ANGELA ROBINSON  
- PHONE: 517.827.8726

**STRUCTURAL ENGINEER:**  
- BERGMANN  
- 560 5TH ST, SUITE 305  
- CONTACT: KIRA TENNES  
- PHONE: 517.272.9835

**MECHANICAL ENGINEER:**  
- ABILITY ENGINEERING  
- 5210 W RIVER DR NE, SUITE C  
COMSTOCK PARK, MI  
- CONTACT: CHRIS NOLAN  
- PHONE: 616.232.5817

**FOOD SERVICE CONSULTANT:**  
- JRA FOOD SERVICE CONSULTANTS  
- 3113 W RIVER ROAD  
MUSKEGON, MI  
- CONTACT: JIM RIEMENSCHNEIDER  
- PHONE: 616.454.4433

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DATE	DESCRIPTION
1/24/2023	OWNER REVIEW
1/31/2023	BIDS
2/7/2023	PERMITS
2/15/2023	ADDENDUM #1

**PROJECT LOCATION MAP**



2/13/2023 10:39:10 AM

DRAWING NUMBER

**G000**

## BUILDING CODE SUMMARY

PROJECT INFORMATION:			
PROJECT NAME:	MIDDLE SCHOOL KITCHEN RENOVATIONS		
PROJECT NUMBER:	016633.00		
PREPARED BY:	E POST	CHECKED BY:	D HOLTROP
DATE:	12/14/2022	DATE:	1/24/2023

OCCUPANCY CLASSIFICATION AND MIXED OCCUPANCIES: (CHAPTERS 3 & 5)			
<input type="checkbox"/> SINGLE	<input type="checkbox"/> ACCESSORY - GROUP	% OF FLOOR AREA	
<input checked="" type="checkbox"/> MIXED OCCUPANCY	<input type="checkbox"/> SEPARATED	<input checked="" type="checkbox"/> NON-SEPARATED	<input type="checkbox"/> COMBINATION
IF SEPARATED, FIRE RESISTANCE RATING OF FIRE BARRIER: (TABLE 508.4) _____ HR.			
OCCUPANCY CLASSIFICATION(S): E, A-2			
USES: E - EDUCATIONAL, A-2 - ASSEMBLY			

AUTOMATIC SPRINKLER SYSTEM PROVIDED THROUGHOUT BUILDING:			
<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO		
PARTIAL/LIMITED-AREA SPRINKLER SYSTEM:			
<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO		
NFPA STANDARD: <input type="checkbox"/> 13 <input type="checkbox"/> 13R ALT. FIRE PROTECTION SYSTEM:			

MEANS OF EGRESS: (CHAPTER 10)			
MEANS OF EGRESS ELEMENT	REQUIRED	PROVIDED	SECTION
EXIT ACCESS TRAVEL DISTANCE	200'	PER PLANS	(TABLE 1017.2)
DEAD-END LIMIT	20'	N/A	(1020.4)
COMMON PATH OF TRAVEL LIMIT	75'		(1006.2.1)

CONSTRUCTION SAFETY COMPLIANCE WITH:	
<input checked="" type="checkbox"/>	CHAPTER 33 SAFE GUARDS DURING CONSTRUCTION OF THE IBC
<input checked="" type="checkbox"/>	CHAPTER 33 FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION OF THE IFC

INTERIOR FINISH: (CHAPTER 8)			
WALL AND CEILING			
OCCUPANCY: A-2			
FINISH CLASS	LOCATION		
<input checked="" type="checkbox"/> A	<input checked="" type="checkbox"/> EXITS	<input checked="" type="checkbox"/> CORRIDORS/ EXIT ACCESS	<input type="checkbox"/> ROOMS/ SPACES
<input type="checkbox"/> B	<input type="checkbox"/> EXITS	<input type="checkbox"/> CORRIDORS/ EXIT ACCESS	<input checked="" type="checkbox"/> ROOMS/ SPACES
<input type="checkbox"/> C	<input type="checkbox"/> EXITS	<input type="checkbox"/> CORRIDORS/ EXIT ACCESS	<input type="checkbox"/> ROOMS/ SPACES

FLOORING	
FINISH CLASS	OCCUPANCIES
<input type="checkbox"/> I	<input type="checkbox"/> ALL <input type="checkbox"/> GROUPS:
<input checked="" type="checkbox"/> II	<input checked="" type="checkbox"/> ALL <input type="checkbox"/> GROUPS:
<input type="checkbox"/> DOC FF-1	<input type="checkbox"/> ALL <input type="checkbox"/> GROUPS:

REHABILITATION OF EXISTING STRUCTURES:	
PER THE 2015 MICHIGAN RAHABILITATION CODE FOR EXISTING BUILDINGS (2015 EIBC)	
<input type="checkbox"/>	REPAIRS (CHAPTER 6)
<input type="checkbox"/>	ALTERATIONS - LEVEL 1 (CHAPTER 7)
<input checked="" type="checkbox"/>	ALTERATIONS - LEVEL 2 (CHAPTER 8)
<input type="checkbox"/>	ALTERATIONS - LEVEL 3 (CHAPTER 9)
<input type="checkbox"/>	CHANGE OF OCCUPANCY (CHAPTER 10)
FORMER OCCUPANCY CLASSIFICATION(S):	
NEW OCCUPANCY CLASSIFICATION(S):	
PARTIAL CHANGE OF OCCUPANCY: <input type="checkbox"/> YES <input type="checkbox"/> NO	
IF YES: <input type="checkbox"/> SEPARATED <input type="checkbox"/> NOT SEPARATED	
<input type="checkbox"/>	ADDITIONS (CHAPTER 11)
SEPARATED ADDITION: <input type="checkbox"/> YES <input type="checkbox"/> NO	
IF YES, FIRE RESISTANCE RATING:	
<input type="checkbox"/>	FIRE WALL _____ HR.
<input type="checkbox"/>	FIRE BARRIER _____ HR.
<input type="checkbox"/>	HISTORIC BUILDING (CHAPTER 12)
<input type="checkbox"/>	RELOCATED BUILDING (CHAPTER 13)
ACCESSIBILITY UPGRADES: COMPLY WITH SECTION 410 AND ADDENDA	

## PROJECT SCOPE

INTERIOR RENOVATIONS IN MIDDLE SCHOOL KITCHEN AND CAFETERIA, FOCUSING ON THE EXPANSION OF THE EXISTING KITCHEN SERVING AREA INTO THE CAFETERIA. THERE WILL BE NEW EQUIPMENT, CEILING, AND FLOORING IN THE NEW SERVING AREA, INCLUDING DEMOLITION AND ADDITION OF WALLS AND DOORS. NEW ROOF TOP UNITS WILL BE ADDED TO PROVIDE AIR CONDITIONING IN THE KITCHEN AND SERVING AREAS.

## APPLICABLE BUILDING CODES

BUILDING CODE: 2015 MICHIGAN BUILDING CODE  
2015 MICHIGAN REHABILITATION CODE  
BUILDING CODE (MI FIRE SAFETY STATE RULES): NFPA 11-2012  
MECHANICAL CODE: 2015 MICHIGAN MECHANICAL CODE  
ELECTRICAL CODE: 2015 NATIONAL ELECTRICAL CODE & MICHIGAN PART 8 ELECTRICAL RULES  
PLUMBING CODE: 2018 MICHIGAN PLUMBING CODE  
ENERGY CODE: 2015 MICHIGAN ENERGY CODE  
ACCESSIBILITY: BARRIER FREE - ICC / ANSI-117

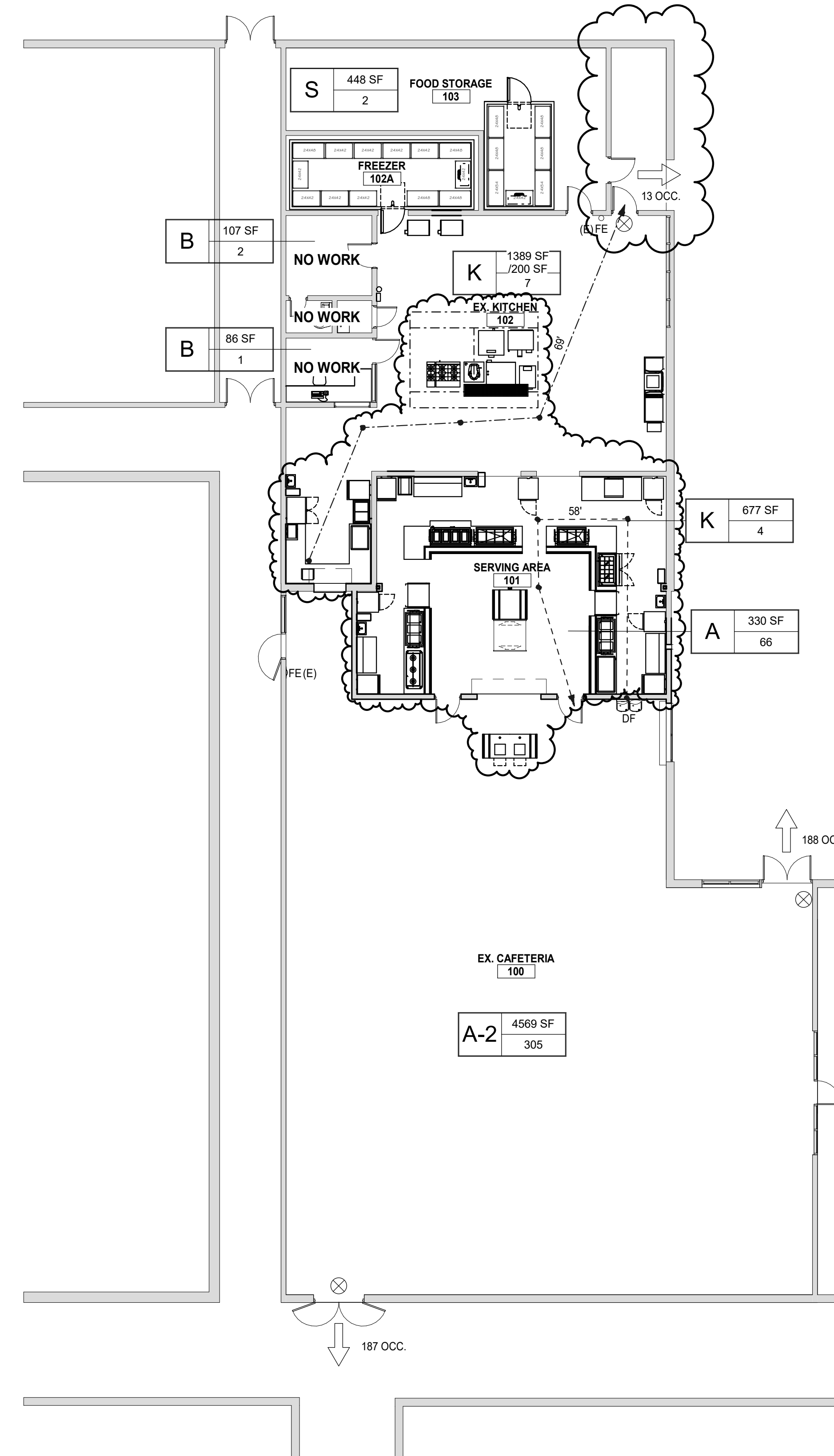
## BUILDING DATA

TOTAL BUILDING AREA: 119,367 SQ/FT  
TOTAL RENOVATION AREA: 7,240 SQ/FT

CONSTRUCTION TYPE = II B (NON-COMBUSTIBLE) N.S.

## USE AND OCCUPANCY

BUILDING IS CLASSIFIED AS EDUCATIONAL "E"

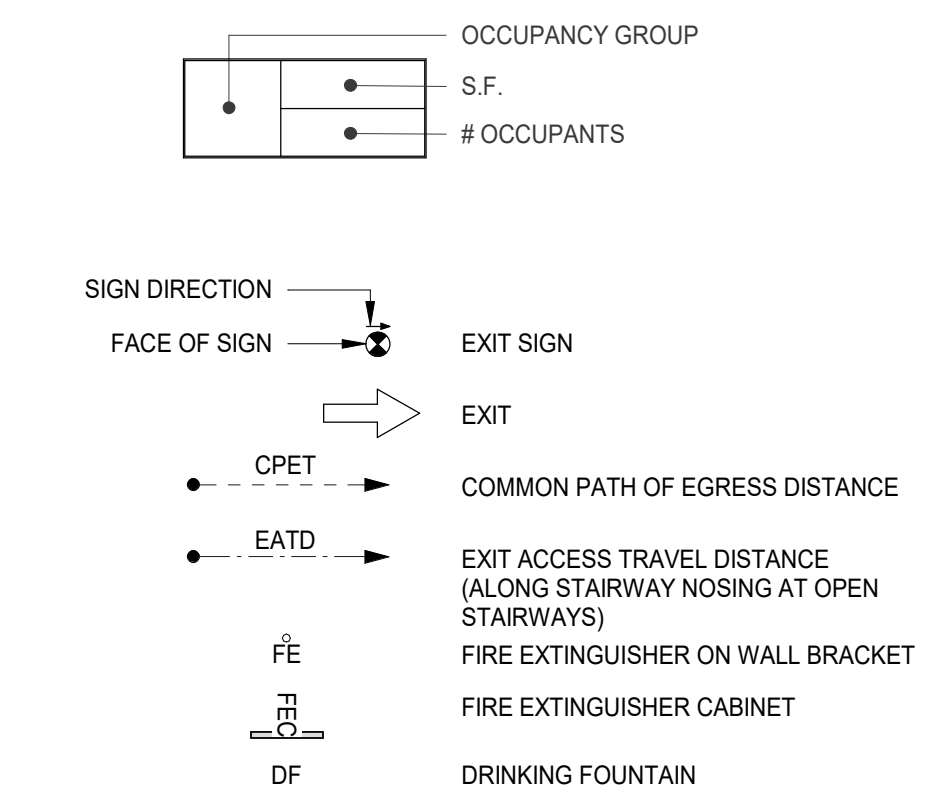


1 CODE COMPLIANCE DIAGRAM - FIRST FLOOR  
SCALE: 3/32" = 1'-0"

## GENERAL NOTES

- APPLICABLE CODES:
  - WORK SHALL CONFORM TO CURRENT EDITION:
  - 2015 MICHIGAN BUILDING CODE (MBC)
  - 2015 MICHIGAN MECHANICAL CODE (MCC)
  - 2018 MICHIGAN PLUMBING CODE (MPC)
  - 2017 NATIONAL ELECTRICAL CODE (NEC) & MICHIGAN PART 8 ELECTRICAL RULES
  - 2015 MICHIGAN ENERGY CODE
  - 2015 MICHIGAN REHABILITATION CODE
  - 2015 INTERNATIONAL FIRE CODE
  - 2012 NFPA 101 LIFE SAFETY CODE
  - ICC/ANSI A117.1-2009 ACCESSIBILITY AND USABLE BUILDINGS AND FACILITIES
  - AS WELL AS WITH OTHER LOCAL, STATE, AND FEDERAL CODES AND REGULATIONS APPLICABLE TO THIS PROJECT.
- COMPLIANCE:
  - PROVIDE FIRE EXTINGUISHERS IN CONFORMANCE WITH THE INTERNATIONAL FIRE CODE SECTION 906 AND COORDINATE WITH FIRE MARSHAL PRIOR TO INSTALLATION. DO NOT INSTALL FIRE EXTINGUISHERS UNTIL LOCATIONS HAVE BEEN REVIEWED AND APPROVED BY THE AUTHORITY HAVING JURISDICTION.
  - OBTAIN ALL REQUIRED PERMITS AND PAYMENT OF PERMIT AND APPLICATION FEES FOR THE WORK.
- CERTIFICATIONS:
  - THE ARCHITECT'S CERTIFICATION IS ONLY FOR THE WORK SHOWN TO BE DONE. IT DOES NOT CONSTITUTE APPROVAL OF PRE-EXISTING CONDITIONS OR REVIEW OF THOSE CONDITIONS FOR CODE COMPLIANCE.
  - THE ARCHITECT'S CERTIFICATION IS FOR COMPLIANCE WITH THE BUILDING CODE OF MICHIGAN AND ITS VARIOUS REFERENCE STANDARDS. FOR PURPOSES OF OBTAINING A BUILDING PERMIT THROUGH THE AUTHORITY HAVING JURISDICTION AND TO CONVEY CONSTRUCTION REQUIREMENTS FOR THE PROJECT. CERTIFICATION DOES NOT GUARANTEE COMPLIANCE WITH LOCAL CODES THAT MAY APPLY.

## LEGEND

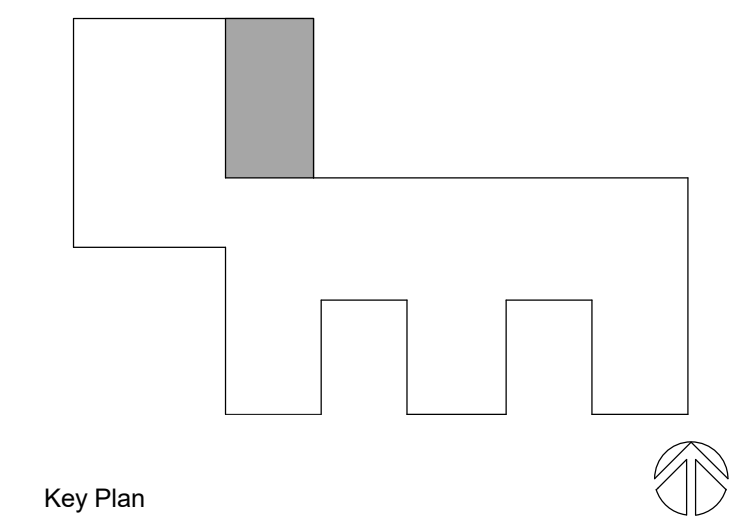


## ORCHARD VIEW SCHOOL DISTRICT

## MIDDLE SCHOOL KITCHEN RENOVATIONS

35 S SHERIDAN DR  
MUSKEGON, MI 49442

Date Revised	Description
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Key Plan

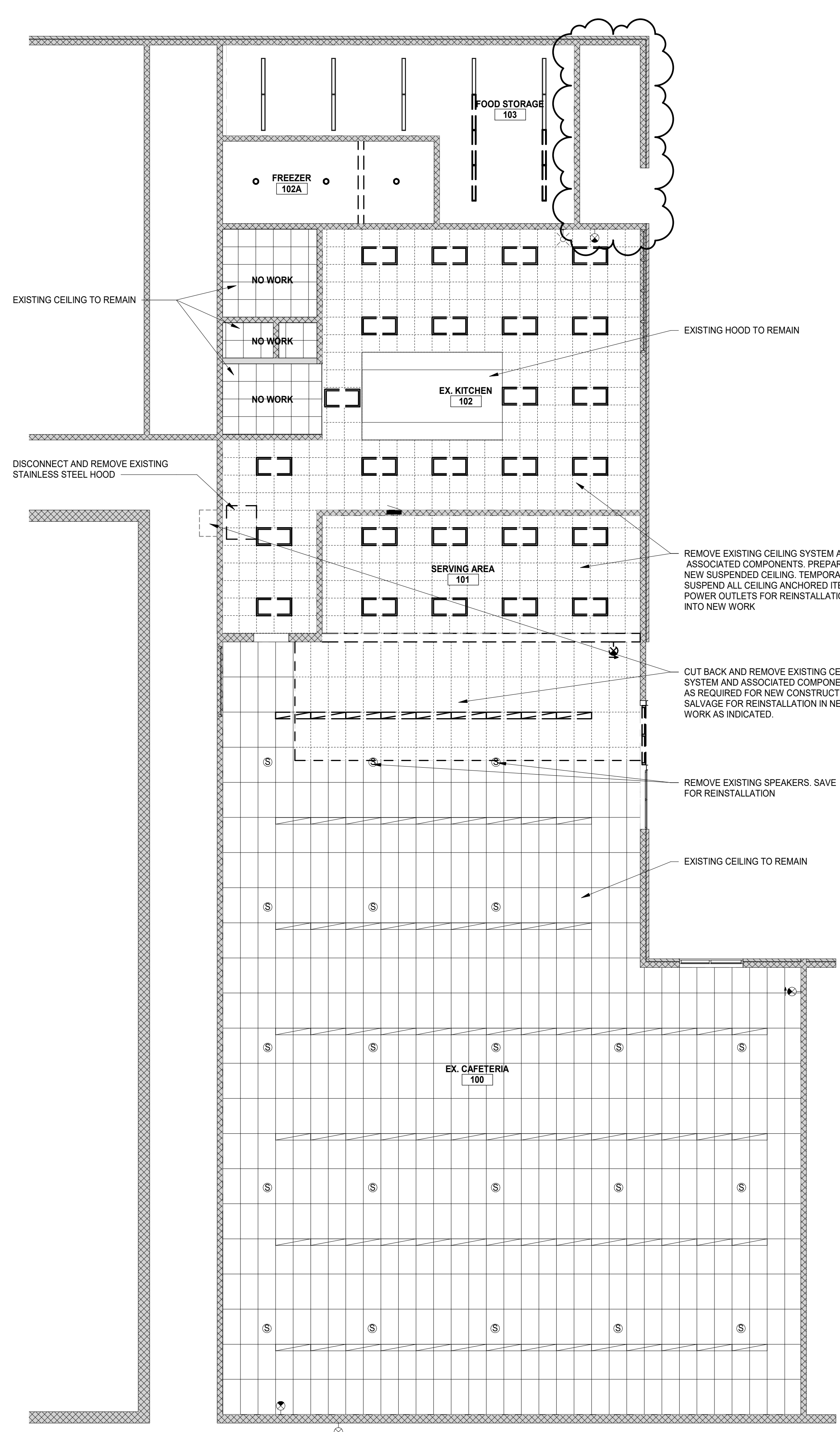
Project Manager	Discipline Lead
D HOLTROP	B HUYLER
Designer	Reviewer
E POST	
Date Issued	Project Number
2/15/2023	016633.00

Sheet Name

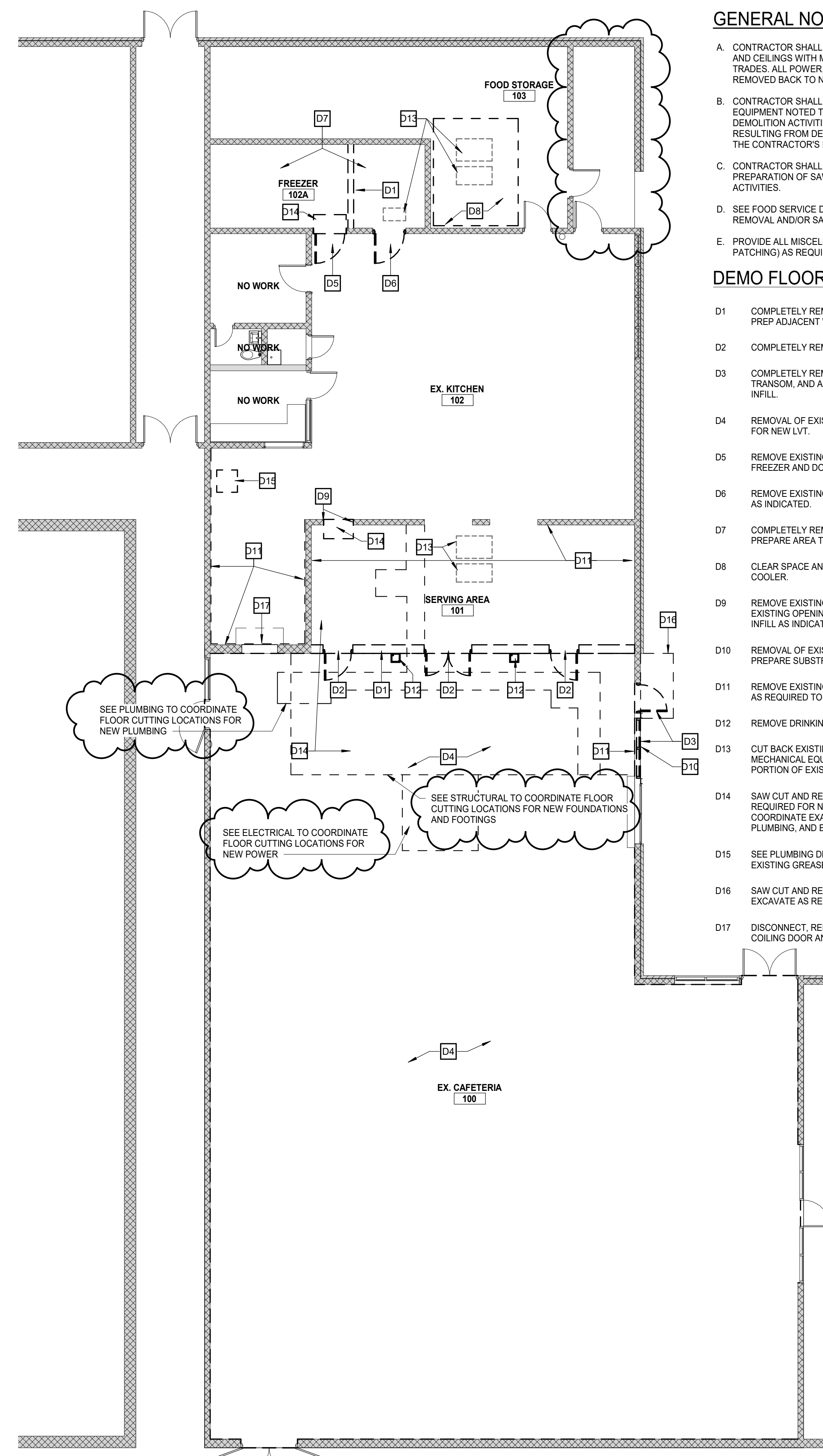
CODE COMPLIANCE & LIFE  
SAFETY PLANS

Drawing Number

**G001**



**2** FIRST FLOOR DEMOLITION CEILING PLAN  
SCALE : 1/8" = 1'-0"



**1** FIRST FLOOR DEMOLITION PLAN  
SCALE : 1/8" = 1'-0"

**GENERAL NOTES**

- A. CONTRACTOR SHALL COORDINATE REMOVAL OF FLOORS, WALLS AND CEILINGS WITH MECHANICAL, ELECTRICAL AND PLUMBING TRADES. ALL POWER, MECHANICAL AND PLUMBING LINES SHALL BE REMOVED BACK TO NEAREST MAIN BRANCH LINE OR PANEL.
- B. CONTRACTOR SHALL PROTECT EXISTING CONSTRUCTION AND EQUIPMENT NOTED TO REMAIN FROM DAMAGE RESULTING FROM DEMOLITION ACTIVITIES. ANY DAMAGE TO EXISTING PROPERTY RESULTING FROM DEMOLITION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- C. CONTRACTOR SHALL PROTECT ADJACENT SURFACES IN PREPARATION OF SAW CUTTING REQUIRED FOR DEMOLITION ACTIVITIES.
- D. SEE FOOD SERVICE DRAWINGS (FSE) FOR REQUIRED EQUIPMENT REMOVAL AND/OR SALVAGE.
- E. PROVIDE ALL MISCELLANEOUS DEMOLITION (CUTTING AND PATCHING) AS REQUIRED FOR INSTALLATION OF NEW WORK.

**DEMO FLOOR PLAN KEYNOTES #**

- D1 COMPLETELY REMOVE EXISTING WALL AS NOTED. REPAIR AND PREP ADJACENT WALLS AND FLOOR TO RECEIVE NEW FINISHES.
- D2 COMPLETELY REMOVE EXISTING DOOR, FRAME, AND HARDWARE.
- D3 COMPLETELY REMOVE EXISTING DOOR, FRAME, HARDWARE, TRANSOM, AND ADJACENT WINDOW. PREPARE OPENING FOR INFILL.
- D4 REMOVAL OF EXISTING FLOORING BY OWNER. PREPARE SURFACE FOR NEW LVT.
- D5 REMOVE EXISTING COOLER DOOR AND PREP OPENING FOR NEW FREEZER AND DOOR.
- D6 REMOVE EXISTING COOLER DOOR AND PREP OPENING FOR INFILL AS INDICATED.
- D7 COMPLETELY REMOVE EXISTING WALK-IN COOLER AND FREEZER. PREPARE AREA TO RECEIVE NEW FREEZER.
- D8 CLEAR SPACE AND PREPARE AREA AS REQUIRED TO RECEIVE NEW COOLER.
- D9 REMOVE EXISTING CERAMIC TILE FROM JAMB AND HEAD OF EXISTING OPENING. PREPARE AS REQUIRED FOR NEW FINISHES OR INFILL AS INDICATED ON ARCHITECTURAL PLANS.
- D10 REMOVAL OF EXISTING EXTERIOR PANEL SYSTEM BY OWNER. PREPARE SUBSTRATE AS REQUIRED FOR NEW CONSTRUCTION.
- D11 REMOVE EXISTING WALL TILE. REPAIR AND PREP WALL BENEATH AS REQUIRED TO RECEIVE NEW FINISH.
- D12 REMOVE DRINKING FOUNTAIN. SEE PLUMBING PLANS
- D13 CUT BACK EXISTING ROOF SYSTEM AS REQUIRED FOR NEW MECHANICAL EQUIPMENT AND UTILITY PENETRATIONS. REMOVE PORTION OF EXISTING DECK FOR DUCTWORK PENETRATIONS.
- D14 SAW CUT AND REMOVE PORTION OF EXISTING FLOOR AS REQUIRED FOR NEW UNDERGROUND UTILITIES AND FOOTINGS. COORDINATE EXACT EXTENT AND LOCATION WITH STRUCTURAL, PLUMBING, AND ELECTRICAL DRAWINGS.
- D15 SEE PLUMBING DRAWINGS FOR DEMO WORK ASSOCIATED WITH EXISTING GREASE INTERCEPTOR.
- D16 SAW CUT AND REMOVE EXISTING CONCRETE STOOP AND EXCAVATE AS REQUIRED FOR NEW FOUNDATION.
- D17 DISCONNECT, REMOVE, AND SALVAGE EXISTING STAINLESS STEEL COILING DOOR AND TRACK FOR REINSTALLATION.



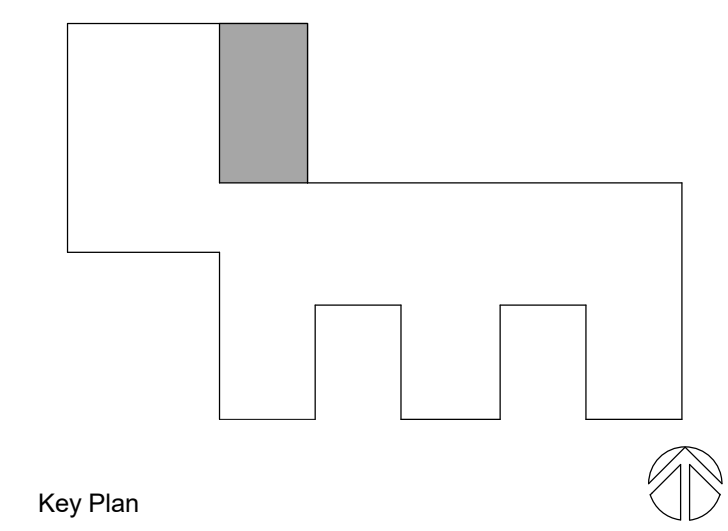
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**ORCHARD VIEW  
SCHOOL  
DISTRICT**

**MIDDLE SCHOOL  
KITCHEN  
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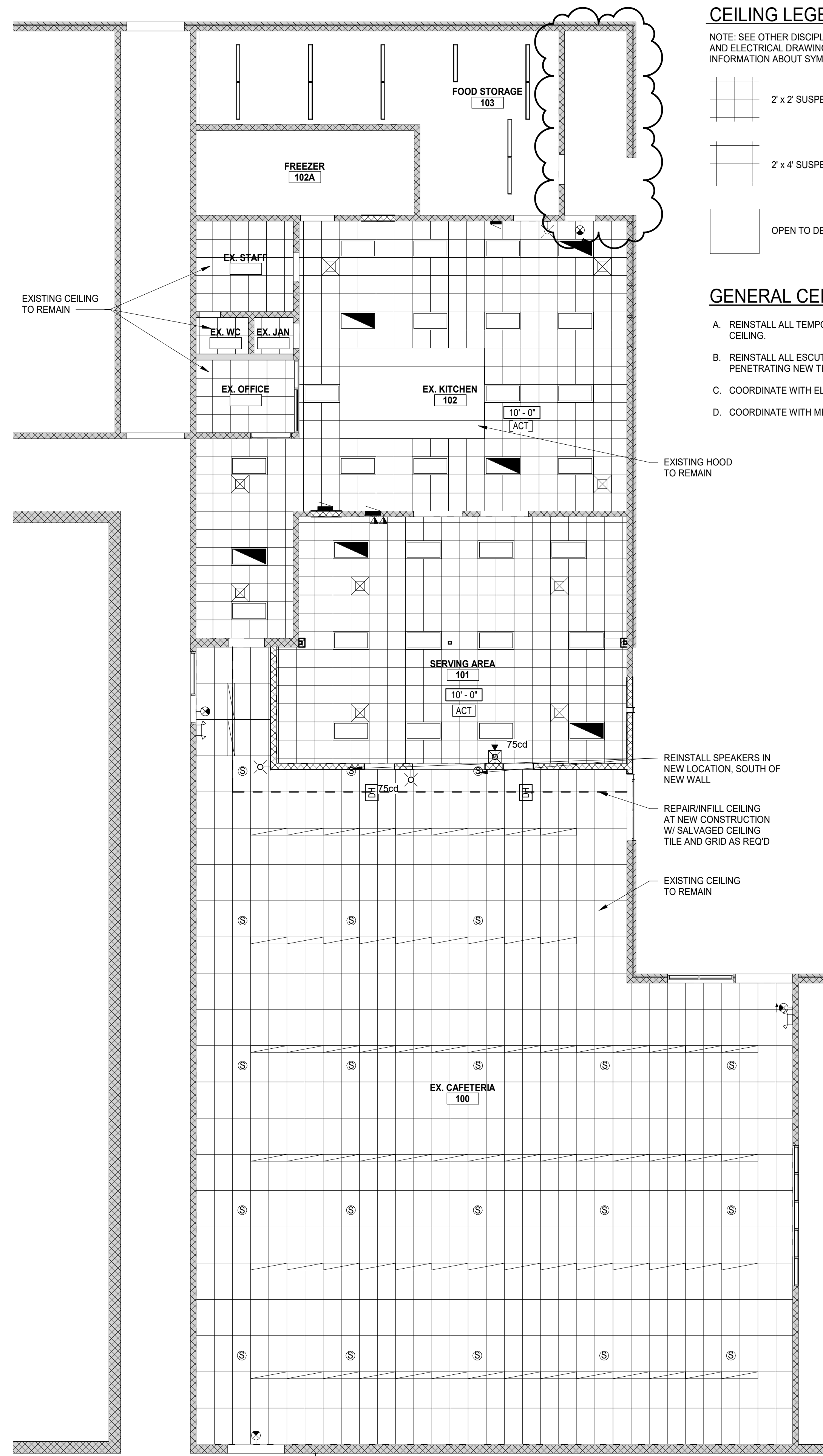


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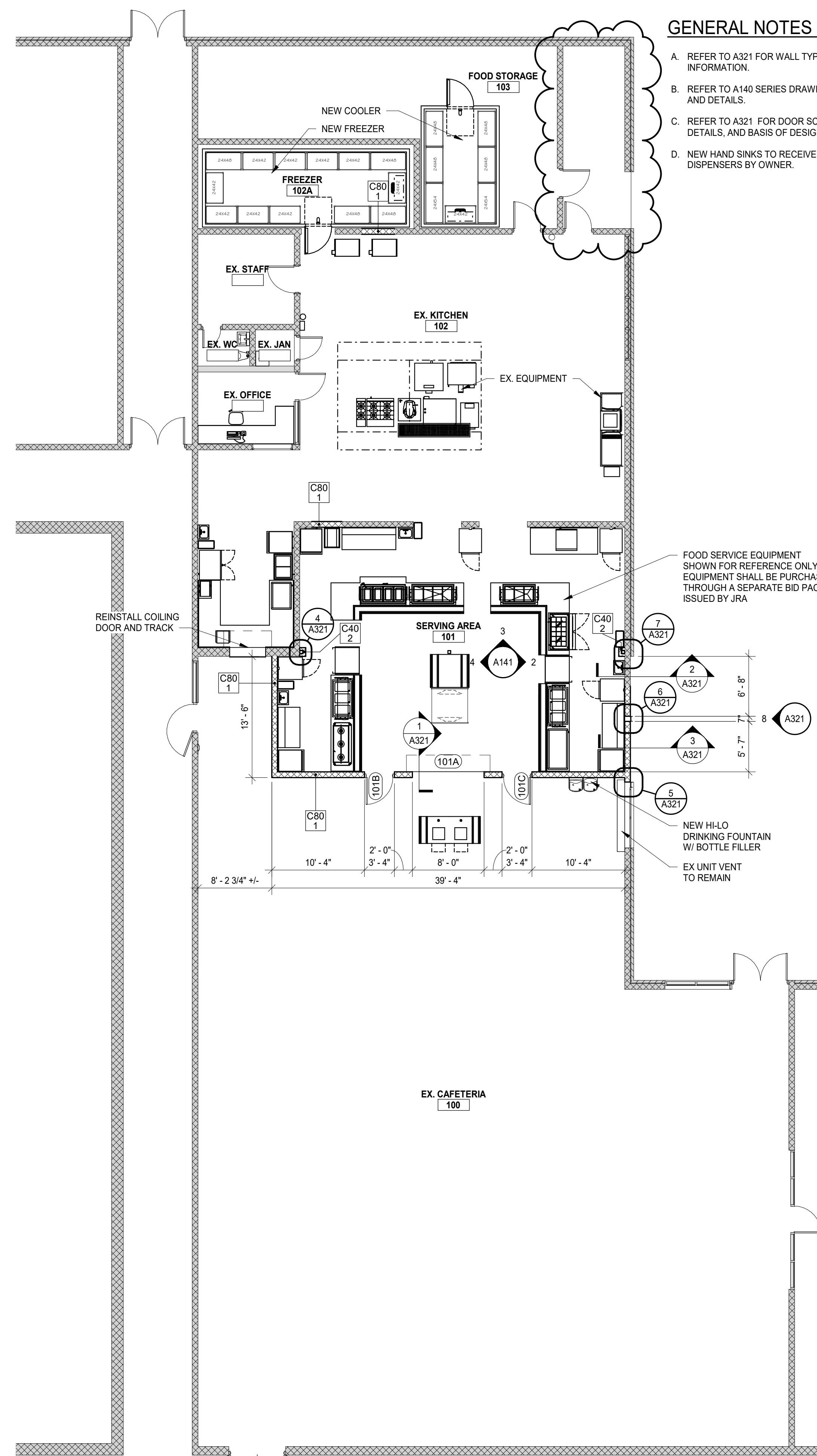
Project Manager	Discipline Lead
D HOLTROP	B HUYLER
Designer	Reviewer
E POST	R KEUNEKE
Date Issued	Project Number
2/15/2023	016633.00

Sheet Name  
**FIRST FLOOR AND CEILING  
DEMOLITION PLANS**

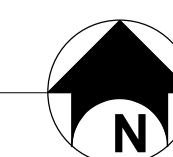
Drawing Number  
**AD101**



**2** FIRST FLOOR REFLECTED CEILING PLAN  
SCALE : 1/8" = 1'-0"



**1** FIRST FLOOR PLAN  
SCALE : 1/8" = 1'-0"

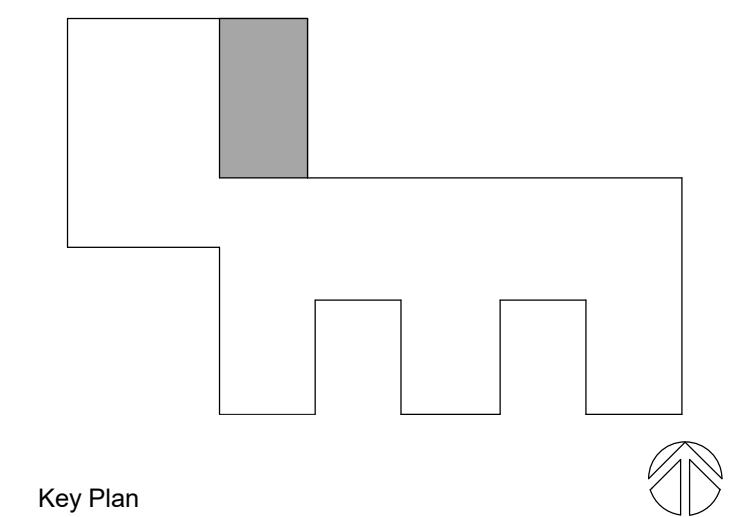


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Project Manager	Discipline Lead
D HOLTROP	B HUYLER
Designer	Reviewer
E POST	R KEUNEKE
Date Issued	Project Number
2/15/2023	016633.00

Sheet Name

**FIRST FLOOR AND CEILING  
PLANS**

Drawing Number

**A101**

BASIS OF DESIGN

095113 ACOUSTICAL PANEL CEILINGS

ACT-1: ACOUSTICAL CEILING TILE 24"x24"  
MANUFACTURER: ARMSSTRONG  
STYLE: KITCHENZONE  
COLOR: WHITE  
EDGE: SQUARE LAY-IN 15/16  
GRID: 15/16" WHITE  
NOTE:

096513 RESILIENT BASE

RB-1: RESILIENT WALL BASE: 4" H  
MANUFACTURER: JOHNSONITE  
STYLE: TRADITIONAL 4" DC  
COLOR: BURNT UMBER B  
TOE STYLE: COVE  
NOTE:

096519 RESILIENT TILE FLOORING

LVT-1: LVT PLANK; 7" x 48", 20 MIL  
MANUFACTURER: SHAW CONTRACT  
COLLECTION: BRANCHING OUT CORETEC 20 MIL  
STYLE: 4309V  
COLOR: PINECONE OAK 56720  
NOTE: STAGGER LAYOUT, EXOGOARD+ FINISH, SHAW 4151 ADHESIVE

098433 INTERIOR PAINT

P-1: FIELD - INTERIOR PAINT  
MANUFACTURER: SHERWIN-WILLIAMS  
COLOR: SW 2008 - ALABASTER  
FINISH: PER PAINT SPEC  
NOTE: USE EPOXY PAINT AS INDICATED (EP-1)

093000 TILE

WT-1: GLAZED CERAMIC TILE; 3"x6", 5/16" THICK  
MANUFACTURER: DAL TILE  
COLLECTION: COLOR WHEEL  
STYLE: CLASSIC  
COLOR: MATTE WHITE  
GROUT: MAPEI 10 BLACK  
LOCATION: SERVING AREA EXISTING CMU WALLS  
NOTE:

068200 GLASS FIBER REINFORCED PLASTIC

FRP-1: GLASS FIBER REINFORCED PLASTIC  
MANUFACTURER: PANGLAM SERVICE SYSTEMS  
COLOR: AS SELECTED FROM MANUFACTURER'S STANDARD RANGE  
TEXTURE: MANUFACTURER'S STANDARD BUBBLE FINISH  
NOTE: PROVIDE TRIMS AS REQUIRED FOR A COMPLETE INSTALLATION

ROOM FINISH SCHEDULE

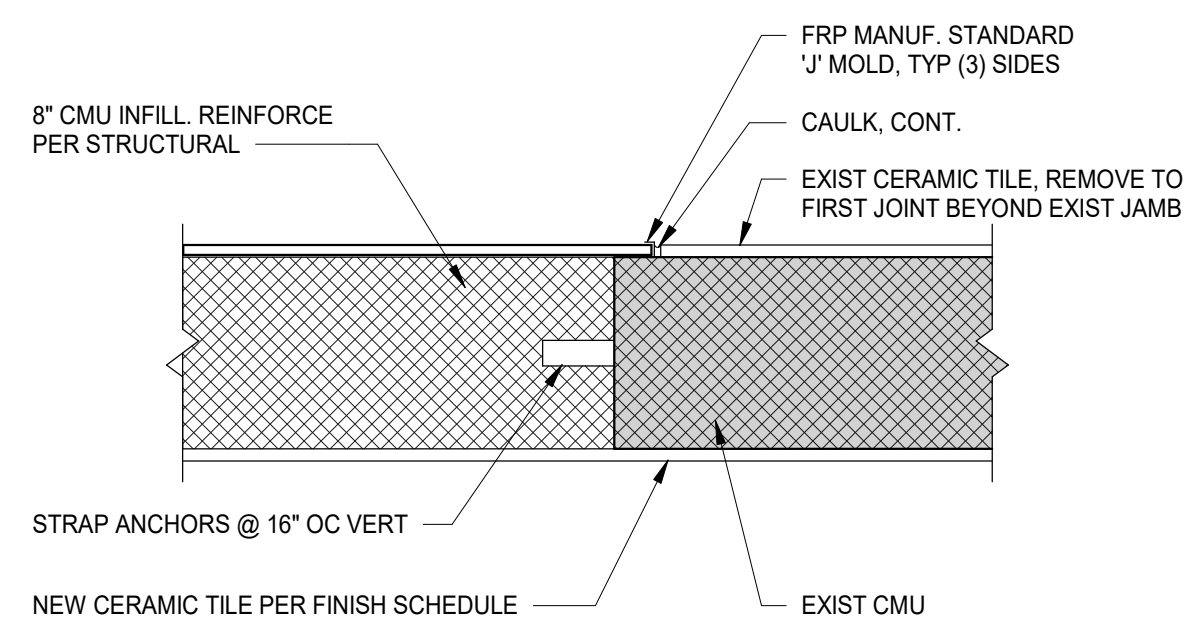
Table with columns: ROOM NUMBER, ROOM NAME, FLOOR, BASE, WALLS (NORTH, SOUTH, EAST, WEST), CEILING, REMARKS. Includes rows for Hallway, Cafeteria, Serving Area, Kitchen, Freezer, and Food Storage.

FINISH REMARKS:  
1. PAINT AND BASE AT NEW CMU WALLS ONLY. BALANCE OF FINISHES TO REMAIN. PROTECT AS REQUIRED.  
2. SEE FINISH PLAN FOR FRP-1 LOCATIONS AT INFILL.  
3. CERAMIC TILE TO BE INSTALLED AT EXISTING CMU WALLS AND INFILL ONLY. RUBBER BASE AT NEW WALLS.  
4. ALL FINISHES PER FOOD SERVICE (FSE) DRAWINGS.  
5. EXISTING FINISHES TO REMAIN. PAINT NEW EXPOSED DUCTWORK TO MATCH EXISTING CEILINGS.

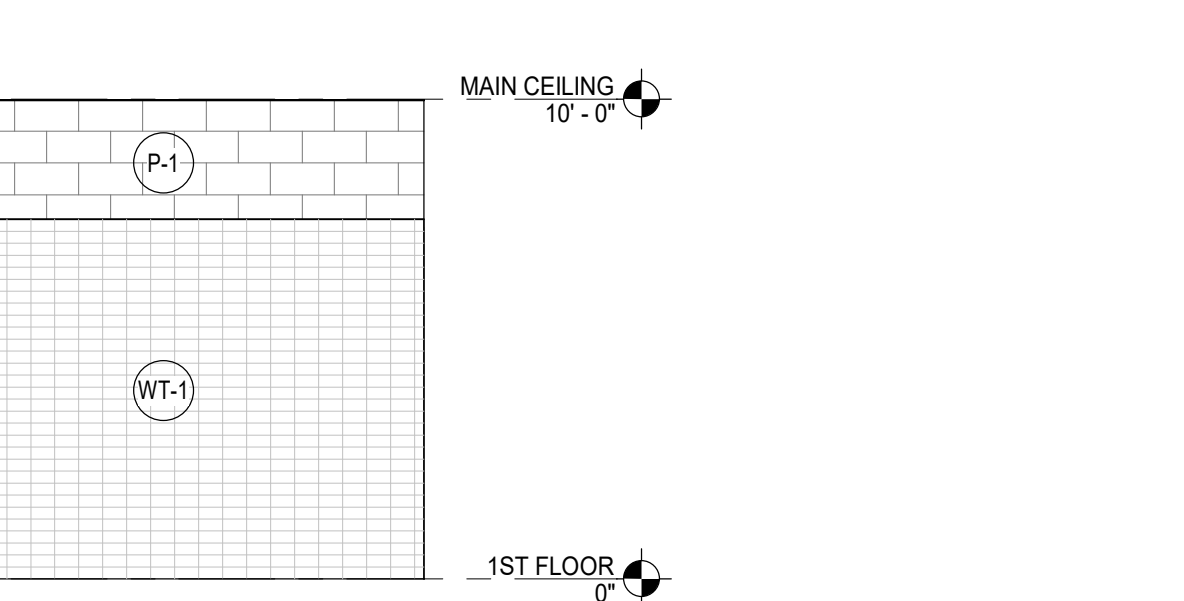
FINISH SYMBOL LEGEND

- XXF - FLOOR FINISH
XXF - WALL BASE FINISH
XXF - FLOOR FINISH ONLY
X# - GENERAL WALL FINISH
X# - GENERAL WALL SPLIT FINISH
TS - TRANSITION STRIP

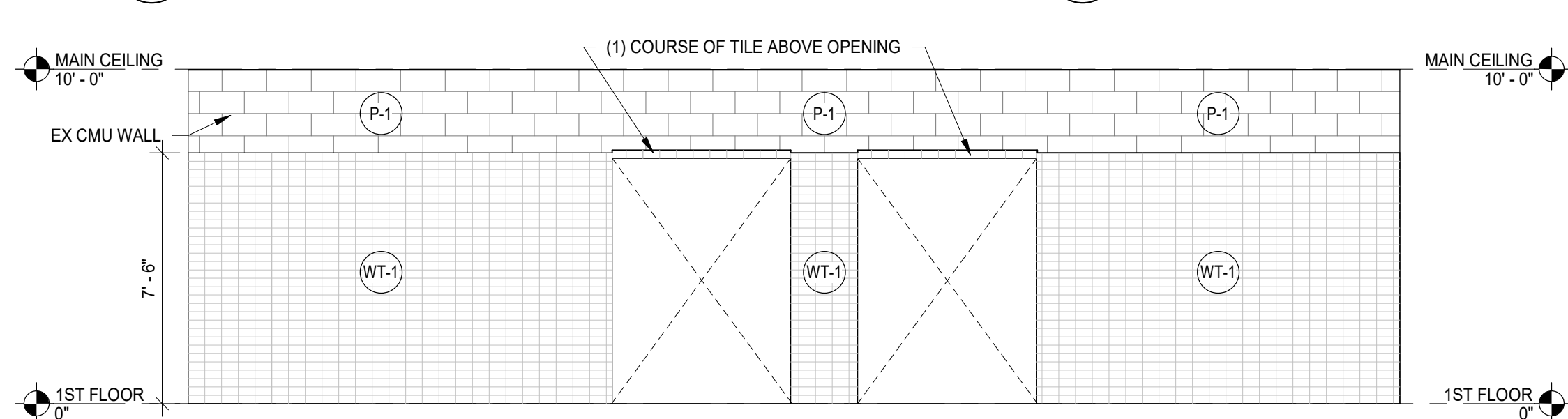
6 JAMB DETAIL SCALE: 1 1/2" = 1'-0"



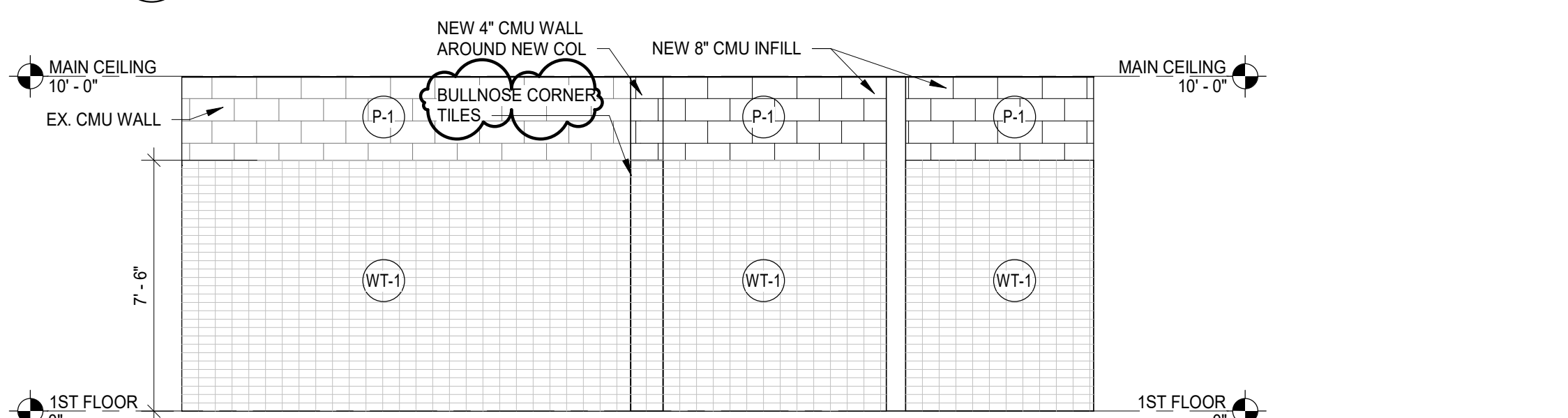
5 INFILL DETAIL SCALE: 1 1/2" = 1'-0"



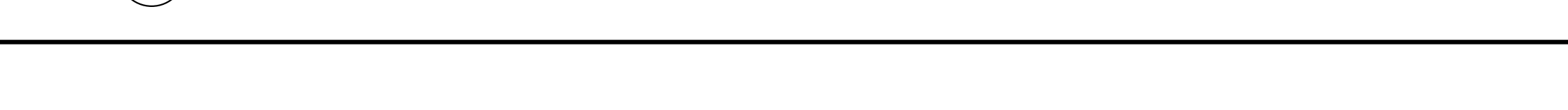
4 INTERIOR ELEVATION C SCALE: 1/4" = 1'-0"



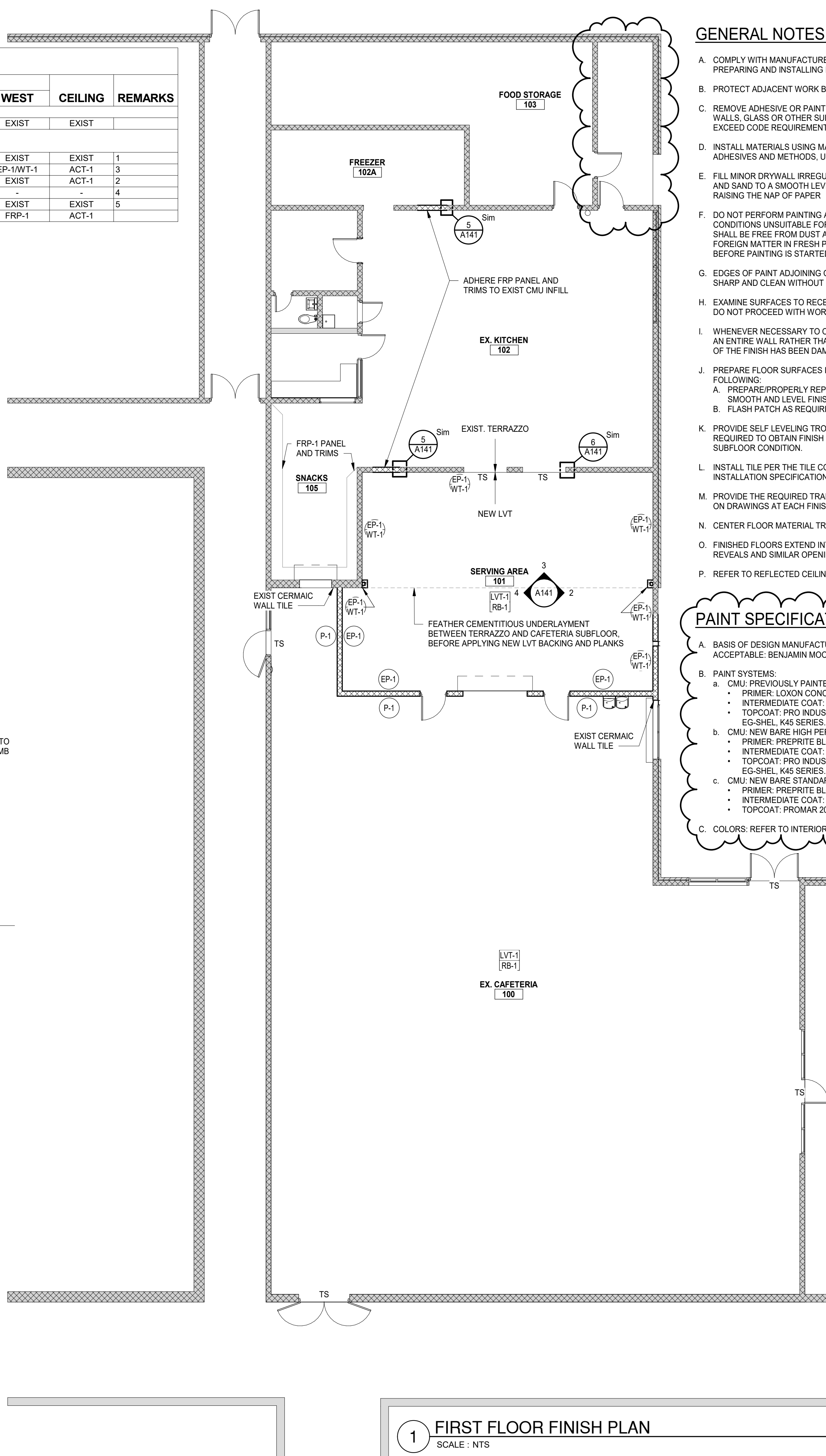
3 INTERIOR ELEVATION B SCALE: 1/4" = 1'-0"



2 INTERIOR ELEVATION A SCALE: 1/4" = 1'-0"



1 FIRST FLOOR FINISH PLAN SCALE: NTS



GENERAL NOTES

- A. COMPLY WITH MANUFACTURER'S RECOMMENDATIONS FOR PREPARING AND INSTALLING FINISHES.
B. PROTECT ADJACENT WORK BY SUITABLY COVERING DURING WORK.
C. REMOVE ADHESIVE OR PAINT SPOTS FROM FINISHED FLOORS, WALLS, GLASS OR OTHER SURFACES. FINISHES TO MEET OR EXCEED CODE REQUIREMENTS.
D. INSTALL MATERIALS USING MANUFACTURER'S APPROVED ADHESIVES AND METHODS, U.O.N.
E. FILL MINOR DRYWALL IRREGULARITIES WITH SPACKLING COMPOUND AND SAND TO A SMOOTH LEVEL SURFACE. EXERCISE CARE TO AVOID RAISING THE NAP OF PAPER.
F. DO NOT PERFORM PAINTING AND OTHER FINISHING WORK UNDER CONDITIONS UNSUITABLE FOR EXECUTION OF PAINTING WORK. AIR SHALL BE FREE FROM DUST AND DIRT TO PREVENT LODGING OF FOREIGN MATTER IN FRESH PAINT. FLOORS MUST BE BROOM CLEAN BEFORE PAINTING IS STARTED.
G. EDGES OF PAINT ADJOINING OTHER COLORS OR MATERIALS TO BE SHARP AND CLEAN WITHOUT OVERLAP.
H. EXAMINE SURFACES TO RECEIVE PAINT CAREFULLY FOR DEFECTS. DO NOT PROCEED WITH WORK UNTIL DEFECTS ARE CORRECTED.
I. WHENEVER NECESSARY TO OBTAIN REQUIRED RESULTS, REFINISH AN ENTIRE WALL RATHER THAN SPOT FINISHING WHERE A PORTION OF THE FINISH HAS BEEN DAMAGED OR IS UNSATISFACTORY.
J. PREPARE FLOOR SURFACES INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
A. PREPARE PROPERLY REPAIR AND PATCH SUBFLOORS TO A SMOOTH AND LEVEL FINISH.
B. FLASH PATCH AS REQUIRED, READY TO RECEIVE NEW FINISH.
K. PROVIDE SELF LEVELING TROWELABLE UNDERLAYMENT WHERE REQUIRED TO OBTAIN FINISH MANUFACTURER'S REQUIRED SUBFLOOR CONDITION.
L. INSTALL TILE PER THE TILE COUNCIL OF NORTH AMERICA'S INSTALLATION SPECIFICATIONS.
M. PROVIDE THE REQUIRED TRANSITIONS BASED ON TYPES IDENTIFIED ON DRAWINGS AT EACH FINISH TRANSITION LOCATION.
N. CENTER FLOOR MATERIAL TRANSITIONS ON DOOR ABOVE.
O. FINISHED FLOORS EXTEND INTO TOE SPACES, CLOSETS, DOOR REVEALS AND SIMILAR OPENINGS.
P. REFER TO REFLECTED CEILING PLANS FOR CEILING FINISHES.

PAINT SPECIFICATION

- A. BASIS OF DESIGN MANUFACTURER: SHERWIN WILLIAMS. ALSO ACCEPTABLE: BENJAMIN MOORE AND PPG PAINTS.
B. PAINT SYSTEMS:
a. CMU: PREVIOUSLY PAINTED HIGH PERFORMANCE (EPOXY).
PRIMER: LIXON CONCRETE AND MASONRY PRIMER, LX02 SERIES.
INTERMEDIATE COAT: MATCH TOPCOAT.
TOPCOAT: PRO INDUSTRIAL PRE CATALYZED WATERBASED EPOXY EG-SHEL K45 SERIES.
b. CMU: NEW BARE HIGH PERFORMANCE (EPOXY).
PRIMER: PREPRITE BLOCK FILLER, B25 SERIES.
INTERMEDIATE COAT: MATCH TOPCOAT.
TOPCOAT: PRO INDUSTRIAL PRE CATALYZED WATERBASED EPOXY EG-SHEL K45 SERIES.
c. CMU: NEW BARE STANDARD PERFORMANCE.
PRIMER: PREPRITE BLOCK FILLER, B25 SERIES.
INTERMEDIATE COAT: MATCH TOPCOAT.
TOPCOAT: PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL, B20.
C. COLORS: REFER TO INTERIOR FINISH SCHEDULE.



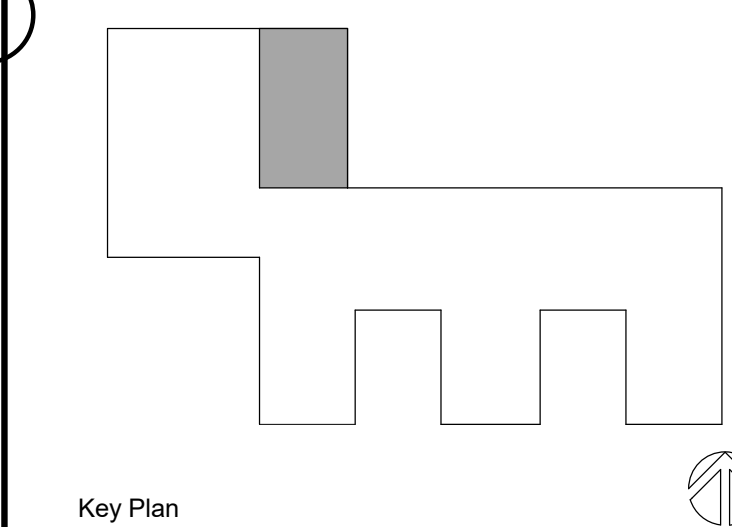
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ORCHARD VIEW SCHOOL DISTRICT

MIDDLE SCHOOL KITCHEN RENOVATIONS

35 S SHERIDAN DR
MUSKEGON, MI 49442

Table with columns: Date Revised, Description. Includes dates 1/24/2023, 1/31/2023, 2/7/2023, 2/15/2023 and descriptions like OWNER REVIEW, BIDS, PERMITS, ADDENDUM #1.



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Table with columns: Project Manager, Discipline Lead, Designer, Reviewer, Date Issued, Project Number. Lists D. HOLTROP, B. HUYLER, E. POST, R. KEUNEKE, 2/15/2023, 016633.00.

Sheet Name

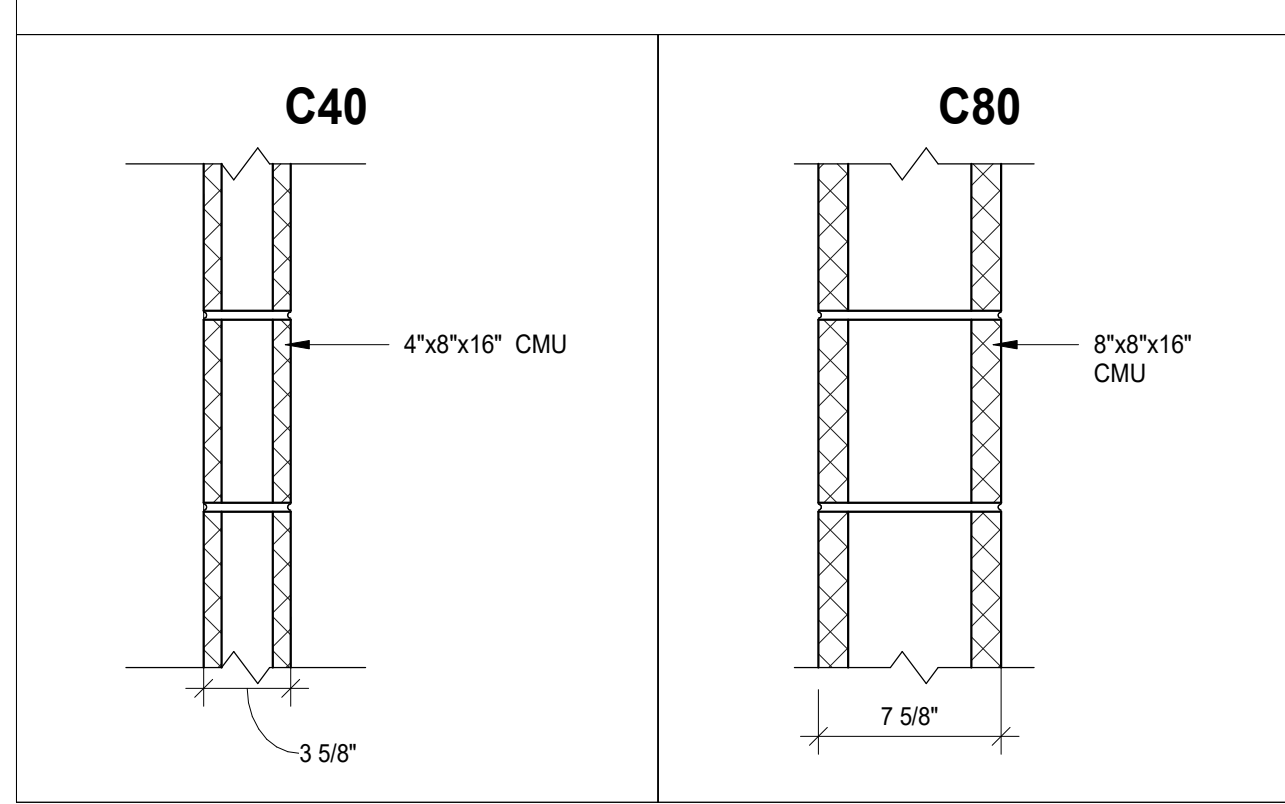
FIRST FLOOR FINISH PLAN

Drawing Number

A141

### WALL TYPES

NOTE: SEE TYPICAL WALL SECTIONS FOR ADDITIONAL INFORMATION AT FLOOR AND DECK ABOVE CONDITIONS.

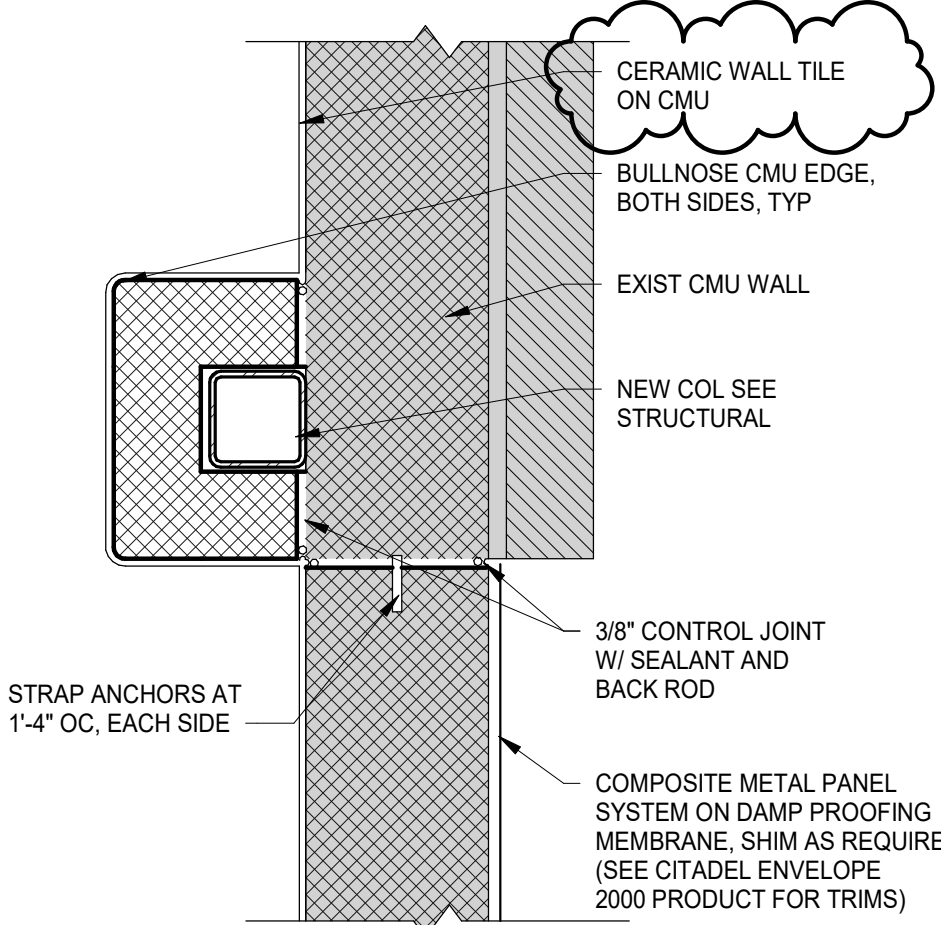


### WALL LEGEND

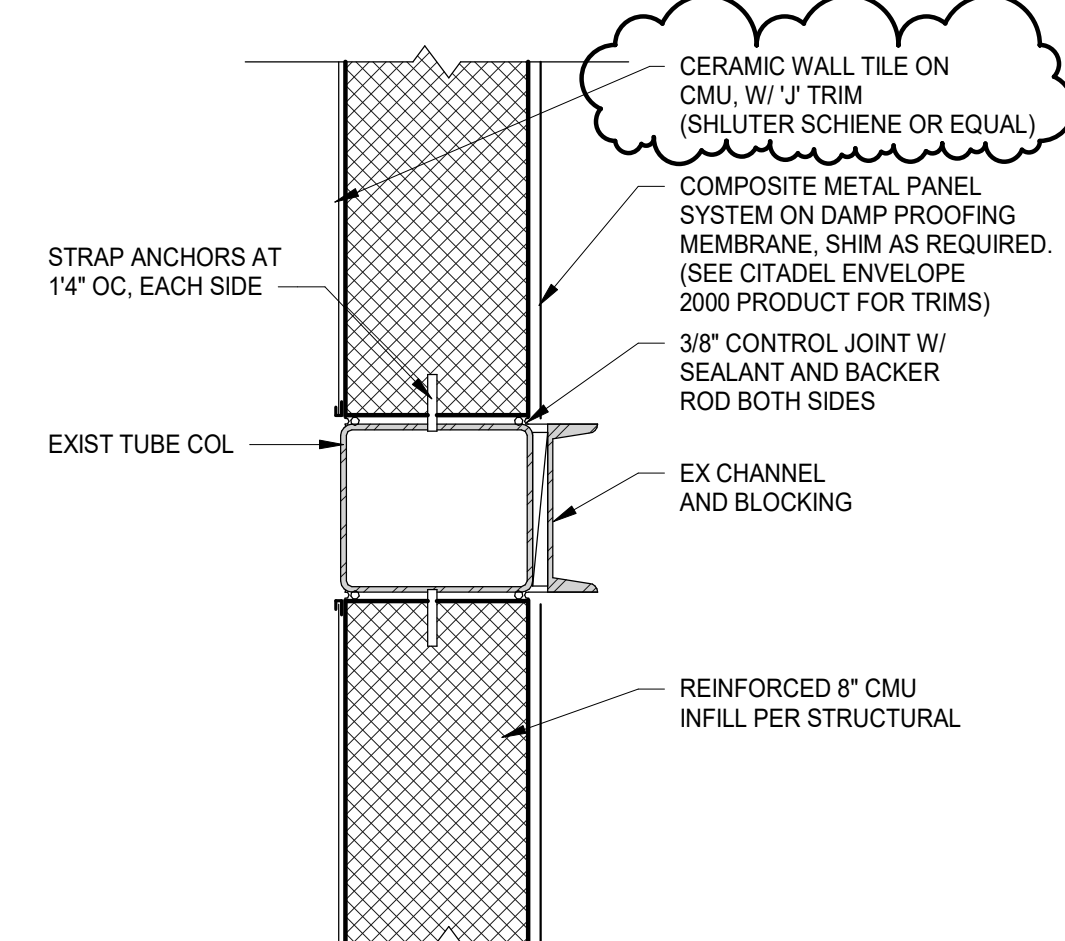
WALL MATERIAL	WALL SIZES
C = CONCRETE MASONRY UNITS	4 = 4" NOMINAL, 3 5/8" ACTUAL 6 = 6" NOMINAL, 5 5/8" ACTUAL 8 = 8" NOMINAL, 7 5/8" ACTUAL
F = FURRING CHANNEL	1 = 7/8" METAL HAT CHANNEL @ 24" O.C. 2 = 1-1/2" METAL HAT CHANNEL @ 24" O.C.
WALL INFORMATION	
1 = WALL TO DECK ABOVE 2 = WALL TO 8' ABOVE CEILING	

REF WALL TYPES AND DETAILS; SEE THIS SHEET

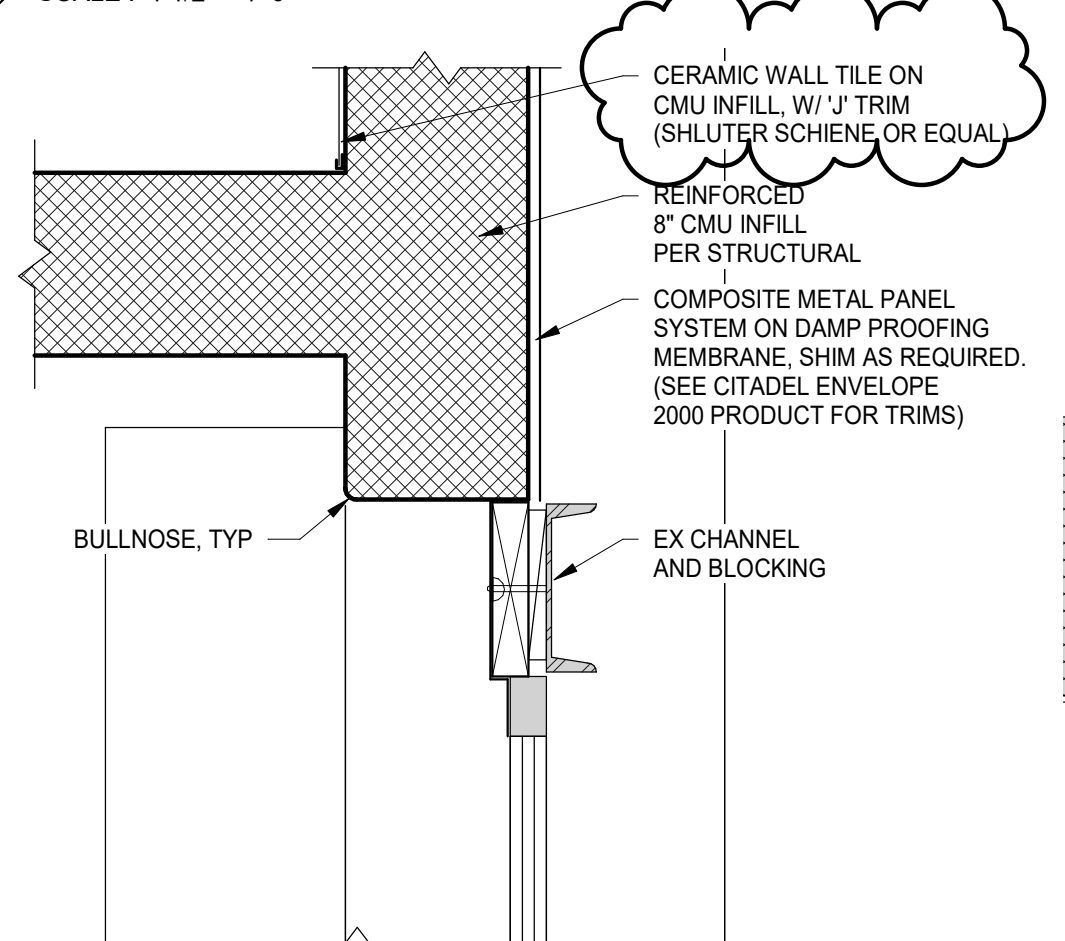
COLUMN ENCLOSURES, CHASES AND ENCLOSED UNINHABITABLE SPACES ARE TO BE WALL TYPE M31, UNLESS NOTED OTHERWISE.



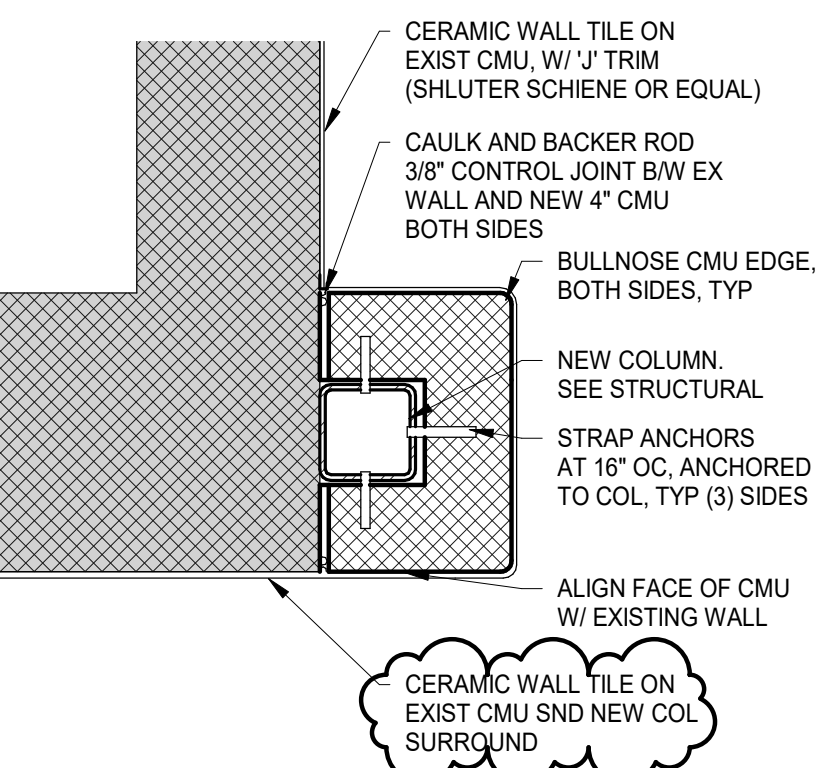
7 PLAN DETAIL D  
SCALE: 1/2" = 1'-0"



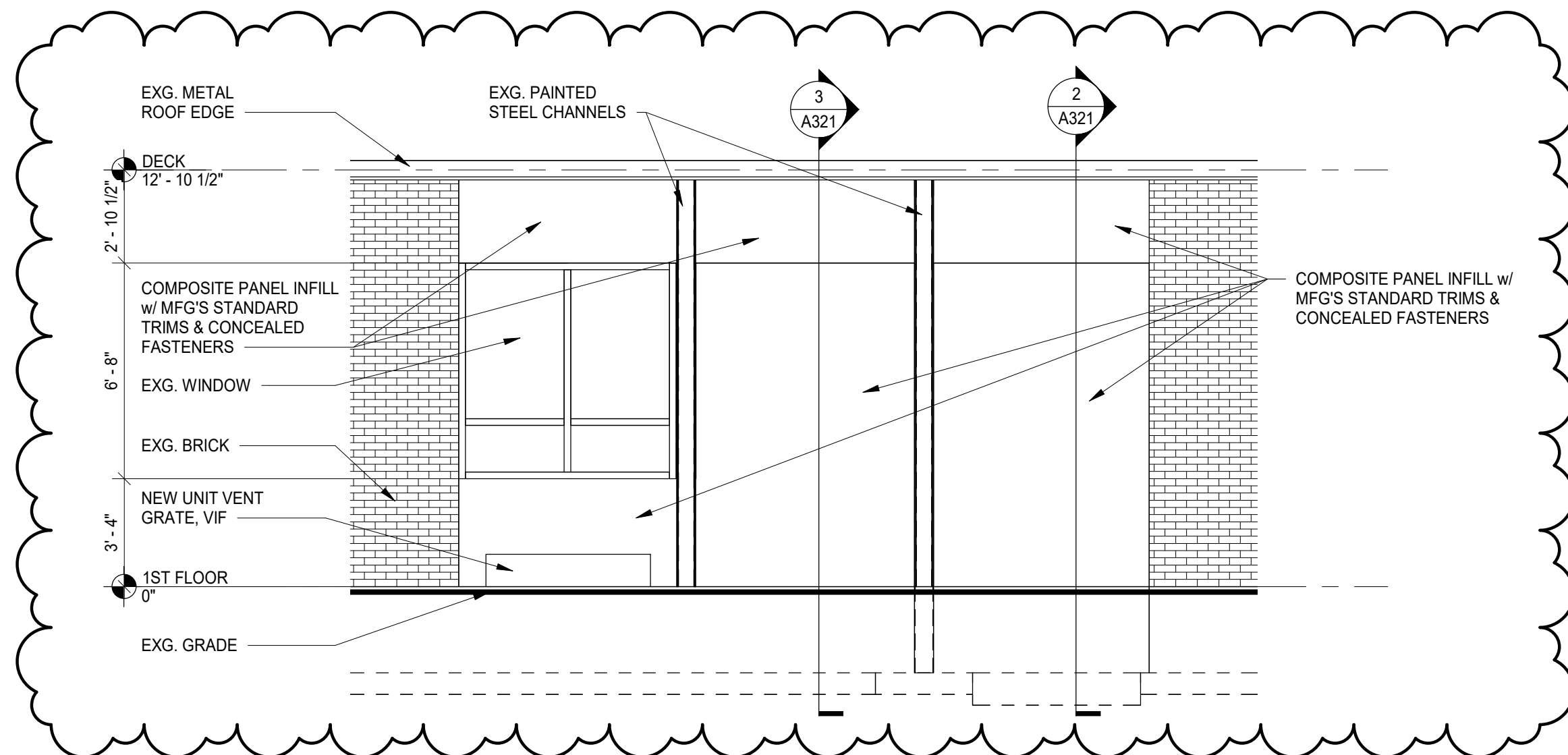
6 PLAN DETAIL C  
SCALE: 1/2" = 1'-0"



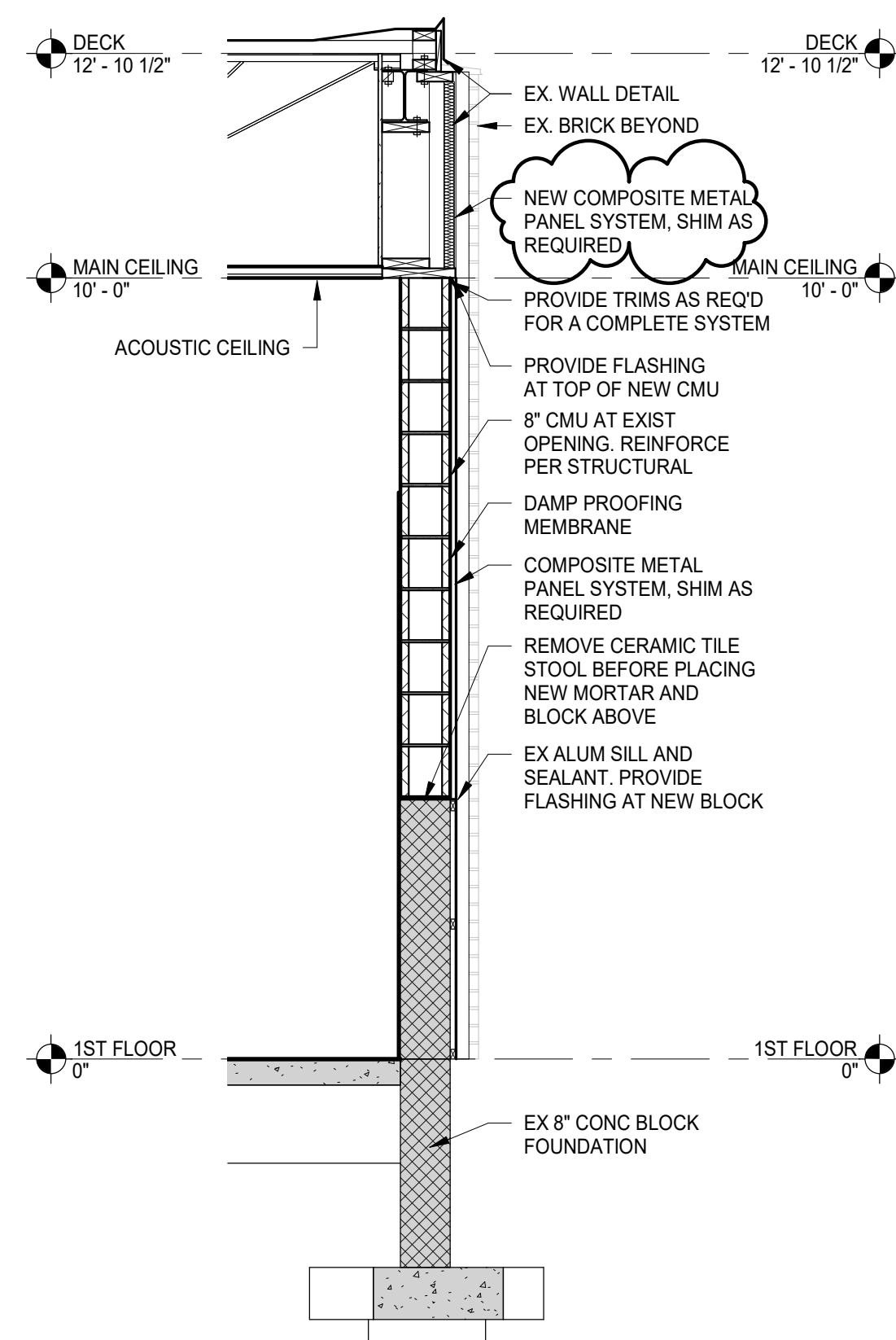
5 PLAN DETAIL B  
SCALE: 1/2" = 1'-0"



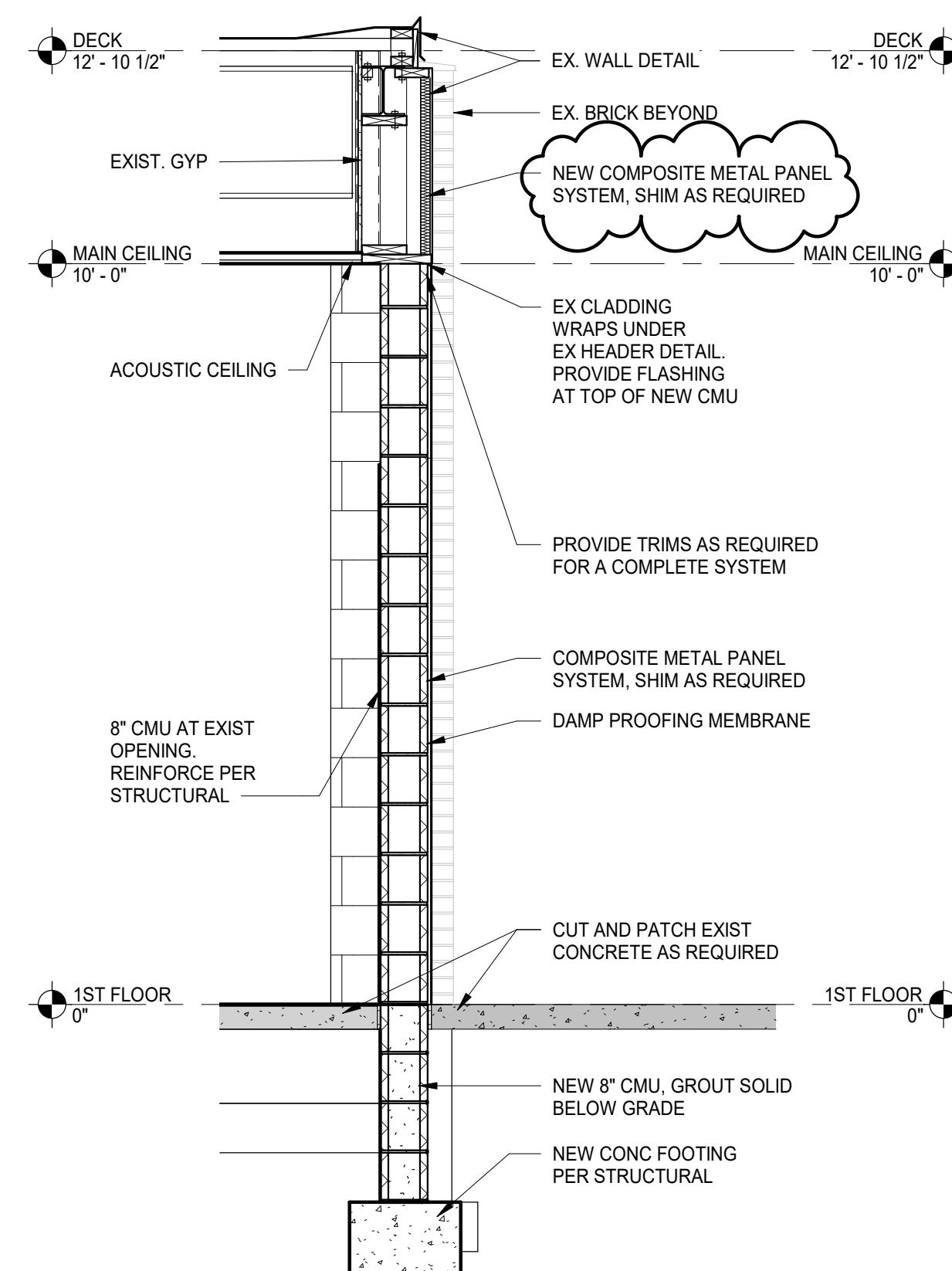
4 PLAN DETAIL A  
SCALE: 1/2" = 1'-0"



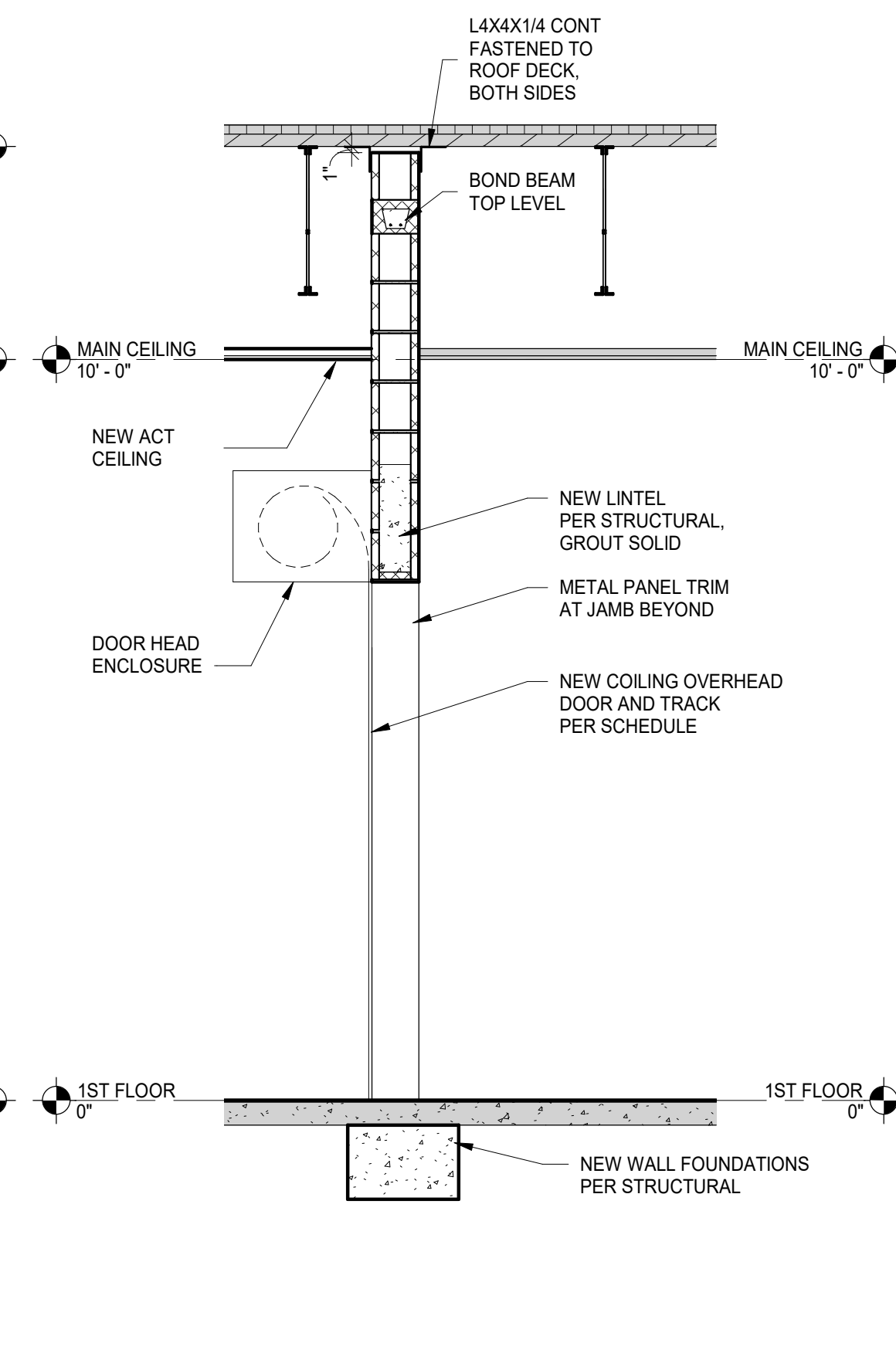
8 PARTIAL EAST ELEVATION  
SCALE: 1/4" = 1'-0"



3 EXTERIOR INFILL WALL OVER SILL  
SCALE: 1/2" = 1'-0"



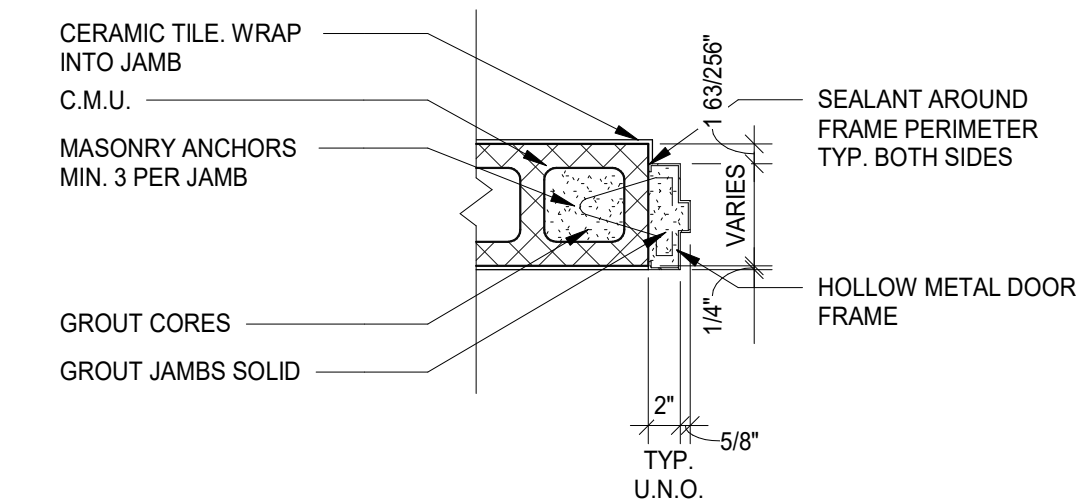
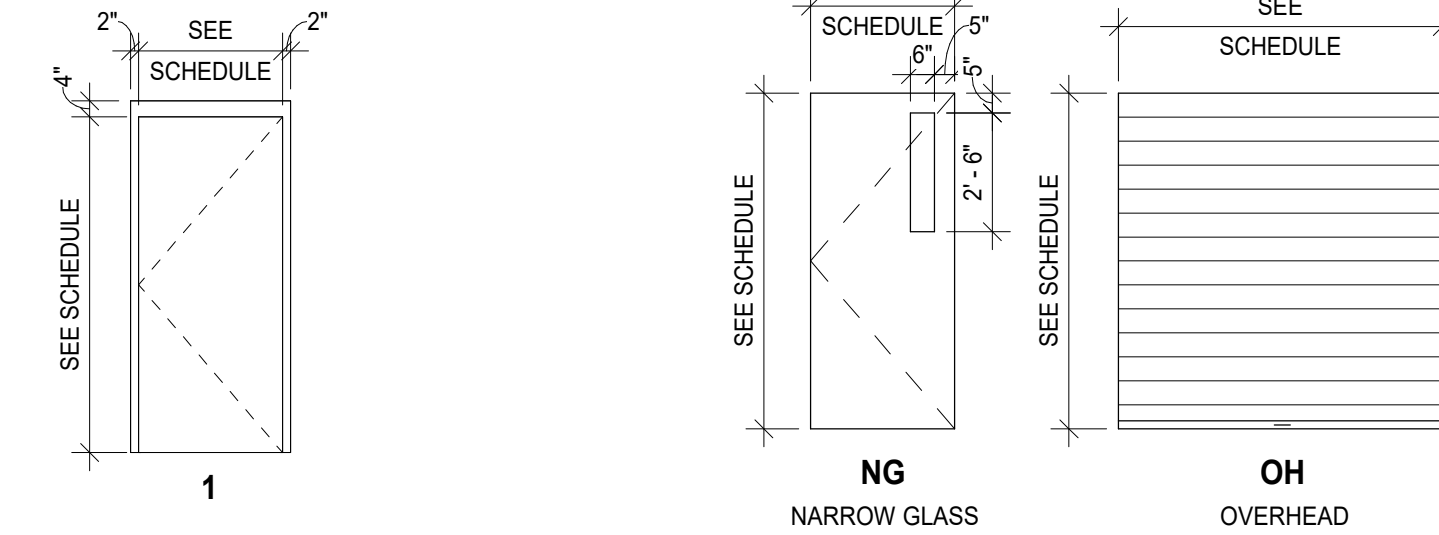
2 EXTERIOR INFILL WALL  
SCALE: 1/2" = 1'-0"



1 OVERHEAD DOOR  
SCALE: 1/2" = 1'-0"

DOOR - FRAME TYPES

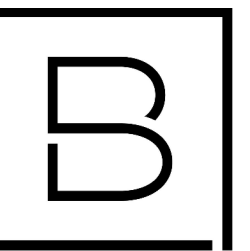
DOOR - TYPES



NOTE: PROVIDE 4" FRAME @ HEAD OF CMU OPENINGS AS NOTED ON DOOR FRAME ELEVATIONS

JAMB DETAILS (HEAD DETAIL SIM.)

DOOR #	DOOR					FRAME			GENERAL			DOOR #
	WIDTH	HEIGHT	THK.	TYPE	MAT-FIN	TYPE	MAT-FIN	DETAIL	HDWR	RATING	REMARKS	
New Construction												
1ST FLOOR												
101A	8' - 0"	7' - 0"	1/2"	OH	PREFIN.	-	PREFIN.		02			101A
101B	3' - 0"	7' - 0"	1 3/4"	NG	WD - ST	2	HM - PT	A	01			101B
101C	3' - 0"	7' - 0"	1 3/4"	NG	WD - ST	2	HM - PT	A	01			101C



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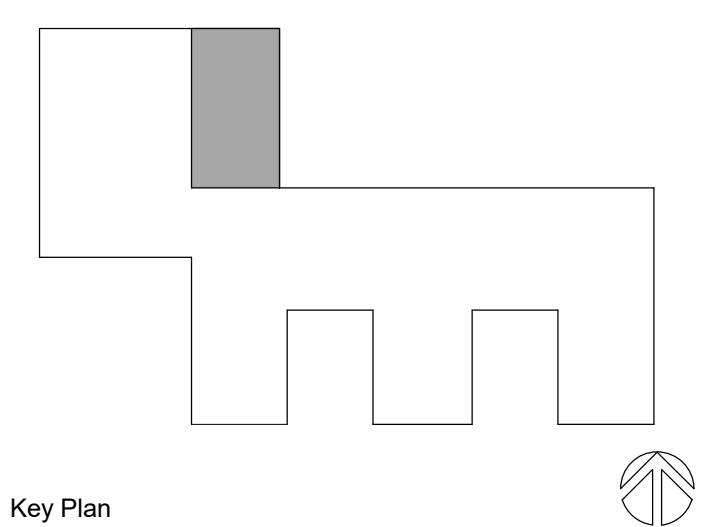
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## ORCHARD VIEW SCHOOL DISTRICT

## MIDDLE SCHOOL KITCHEN RENOVATIONS

35 S SHERIDAN DR  
MUSKEGON, MI 49442

Date Revised	Description
1/24/2023	OWNER REVIEW
1/31/2023	BIDS
2/7/2023	PERMITS
2/15/2023	ADDENDUM #1



Key Plan

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Project Manager	Discipline Lead
D HOLTROP	B HUYLER
Designer	Reviewer
E POST	R KEUNEKE
Date Issued	Project Number
2/15/2023	016633.00

Sheet Name

### WALL SECTIONS AND DOOR DETAILS

Drawing Number

# A321



## GENERAL PLUMBING DEMOLITION NOTES:

1. ALL EXISTING PIPING AND EQUIPMENT SHOWN AS DASHED OR CROSS HATCHED SHALL BE REMOVED. PROTECT EXISTING WORK WHICH IS TO REMAIN IN PLACE FOR REUSE WITH TEMPORARY COVERS, SHORING, BRACING, AND SUPPORTS.
2. ALL EQUIPMENT TO BE REMOVED SHALL BE INSPECTED AND REVIEWED BY THE OWNER FOR POSSIBLE REUSE. EXCEPT WHERE INDICATED OTHERWISE, ALL MATERIALS AND EQUIPMENT REMOVED AND NOT REUSED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE OWNERS PROPERTY.
3. DO NOT INTERRUPT OR CONNECT INTO ANY SERVICE PIPING, ELECTRICAL, OR INSTRUMENTATION WORK WITHOUT PRIOR APPROVAL FROM THE OWNERS REPRESENTATIVE.
4. CONTRACTOR SHALL FIELD VERIFY LOCATION(S) OF EXISTING PIPING OR EQUIPMENT TO BE REMOVED.
5. COORDINATE WITH GENERAL CONTRACTOR FOR WALL, ROOF, CEILING, AND FLOOR REPAIR WORK LEFT BY REMOVED ITEMS.

## KEYED PLUMBING DEMOLITION NOTES:

1. CAP EXISTING WASTE TO DEMO'D FIXTURE BELOW FLOOR.
2. REMOVE EXISTING SINK AND TRIM. CAP WASTE IN WALL. REMOVE HOT AND COLD WATER PIPING BACK FOR NEW HAND SINK CONNECTION.
3. REMOVE EXISTING DRINKING FOUNTAIN AND TRIM. CAP WASTE BELOW FLOOR. REMOVE VENT AND COLD WATER PIPING BACK TO NEAREST MAIN OR TEE AND CAP.
4. REMOVE EXISTING HOSE BIBB. REMOVE COLD WATER PIPING BACK TO NEAREST MAIN OR TEE AND CAP.
5. REMOVE EXISTING GREASE INTERCEPTOR.
6. DISCONNECT & CAP  $\frac{1}{2}$ " HW & CW FROM DEMO'D SOILED DISHTABLE IN THIS AREA, REFER TO FSEC DEMO PLAN FOR INFO.
7. DISCONNECT & CAP  $\frac{1}{2}$ " HW &  $\frac{3}{4}$ " CW FROM DEMO'D DISHWASHER IN THIS AREA, REFER TO FSEC DEMO PLAN FOR INFO.
8. DISCONNECT & CAP  $\frac{1}{2}$ " HW &  $\frac{3}{4}$ " CW FROM DEMO'D DISPOSER IN THIS AREA. CAP EXIST 2" DRAIN CONN, REFER TO FSEC DEMO PLAN FOR INFO.

## GENERAL PLUMBING NOTES:

1. THESE DRAWINGS ARE DIAGRAMMATIC, AND INDICATE THE GENERAL EXTENT OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ALL OTHER TRADES AND FOR PROPER INSTALLATION OF ALL PLUMBING SYSTEMS AND COMPONENTS IN ACCORDANCE WITH 2018 MICHIGAN PLUMBING CODE REQUIREMENTS.
2. ROUTE ALL SANITARY & WASTE PIPING  $2\frac{1}{2}$ " AND LARGER AT  $\frac{1}{8}$ " FALL PER FOOT UNLESS OTHERWISE NOTED; ROUTE ALL SANITARY & WASTE PIPING 2" AND SMALLER AT  $\frac{1}{4}$ " FALL PER FOOT UNLESS OTHERWISE NOTED.

## KEYED PLUMBING NOTES:

- P1 NEW HAND SINK PROVIDED & INSTALLED BY FOOD SERVICE CONTRACTOR, PC TO PROVIDE  $\frac{1}{2}$ " CW &  $\frac{1}{2}$ " HW STUB W/ STOP VALVE AND  $1\frac{1}{2}$ " DIRECT DRAIN AS REQ FOR CONN BY FOOD SERVICE CONTRACTOR. PROVIDE ASSE 1070 TEMPERATURE AND PRESSURE REGULATING DEVICE AT FIXTURE, REFER TO FOOD SERVICE DRAWINGS FOR ADDITIONAL INFORMATION.
- P2 CONN FIXTURE TRAP LET TO COMBINATION WASTE&VENT UNDERGROUND AS SHOWN. INSTALL FIXTURE TRAP WITHIN MAXIMUM DISTANCE ALLOWED FROM VENT PER 2018 MPC TABLE 909.1 (6'-0" FOR  $1\frac{1}{2}$ " TRAP)
- P3 ROUTE PIPING DOWN EXPOSED ON WALL.
- P4 CONN NEW FIXTURE VENT TO EXISTING VENT THRU ROOF PIPING. FIELD VERIFY SIZE & ACTUAL LOC.
- P5  $\frac{1}{2}$ " HW UNDERGROUND TO HOT WELL TABLE. PIPE TO BE TYPE 'A' PEX.
- P6 RECONNECT 3" INLET AND OUTLET OF DEMO'D GREASE INTERCEPTOR WITH NEW PIPE. INFILL WITH CONCRETE AND PROVIDE 16 GA 316 STAINLESS COVER OVER CONCRETE. CAULK COVER TO FLOOR.

## FIXTURE UNIT VALUES

FIXTURE	DRAINAGE <sup>a</sup>		SUPPLY <sup>b</sup>	
	DFU	HW	CW	TOTAL
SINK (PRIVATE)	2	1	1	1.4
EWC/DRINKING FOUNTAIN	0.5	—	0.25	0.25
FLOOR DRAIN (3" TRAP)	5	—	—	—

<sup>a</sup> DRAINAGE FIXTURE UNIT VALUES (DFU) TAKEN FROM Michigan Plumbing Code/2018, CHAPTER 7, TABLE 709.1.

<sup>b</sup> SUPPLY FIXTURE UNIT VALUES TAKEN FROM Michigan Plumbing Code/2018, APPENDIX E, TABLE E103.3(2).

## MINIMUM SIZE CONNECTION

FIXTURE	SAN	HW	CW	VENT
SINK	1 1/2"	1/2"	1/2"	1 1/2"
ELECTRIC WATER COOLER	1 1/4"	—	1/2"	1 1/4"
FLOOR DRAIN	3"	—	—	1 1/2"

## WATER HAMMER ARRESTOR LEGEND

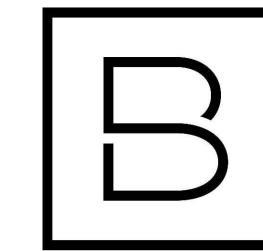
SYMBOL	PDI RATING	FIXTURE UNIT CAP
(A)	A	1-11

## NOTES:

1. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER PLACEMENT OF WATER HAMMER ARRESTORS. REFER TO MANUFACTURER'S RECOMMENDATIONS.

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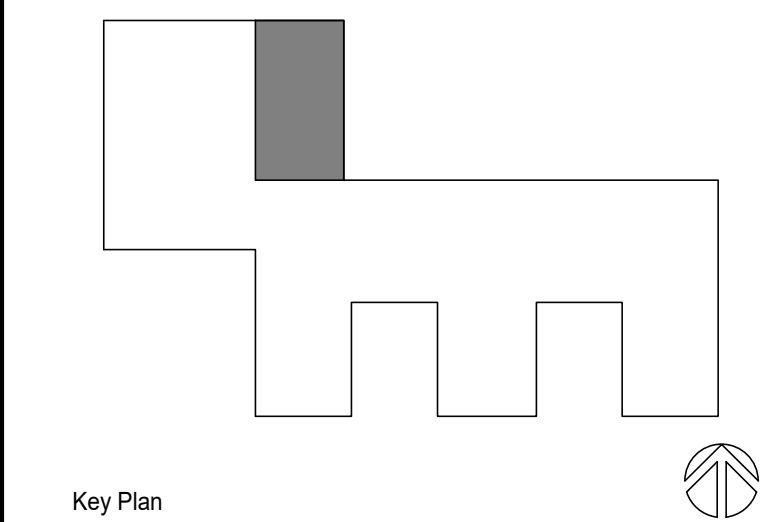
## ORCHARD VIEW SCHOOL DISTRICT

## MIDDLE SCHOOL KITCHEN RENOVATIONS

35 S SHERIDAN DR  
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Date Revised	Description
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2-15-2023	ADDENDUM #1

CHRISTOPHER J. NOLAN, P.E.  
MI - REGISTRATION# 6201043863  
EXP. DATE# 4/1/2028



Key Plan

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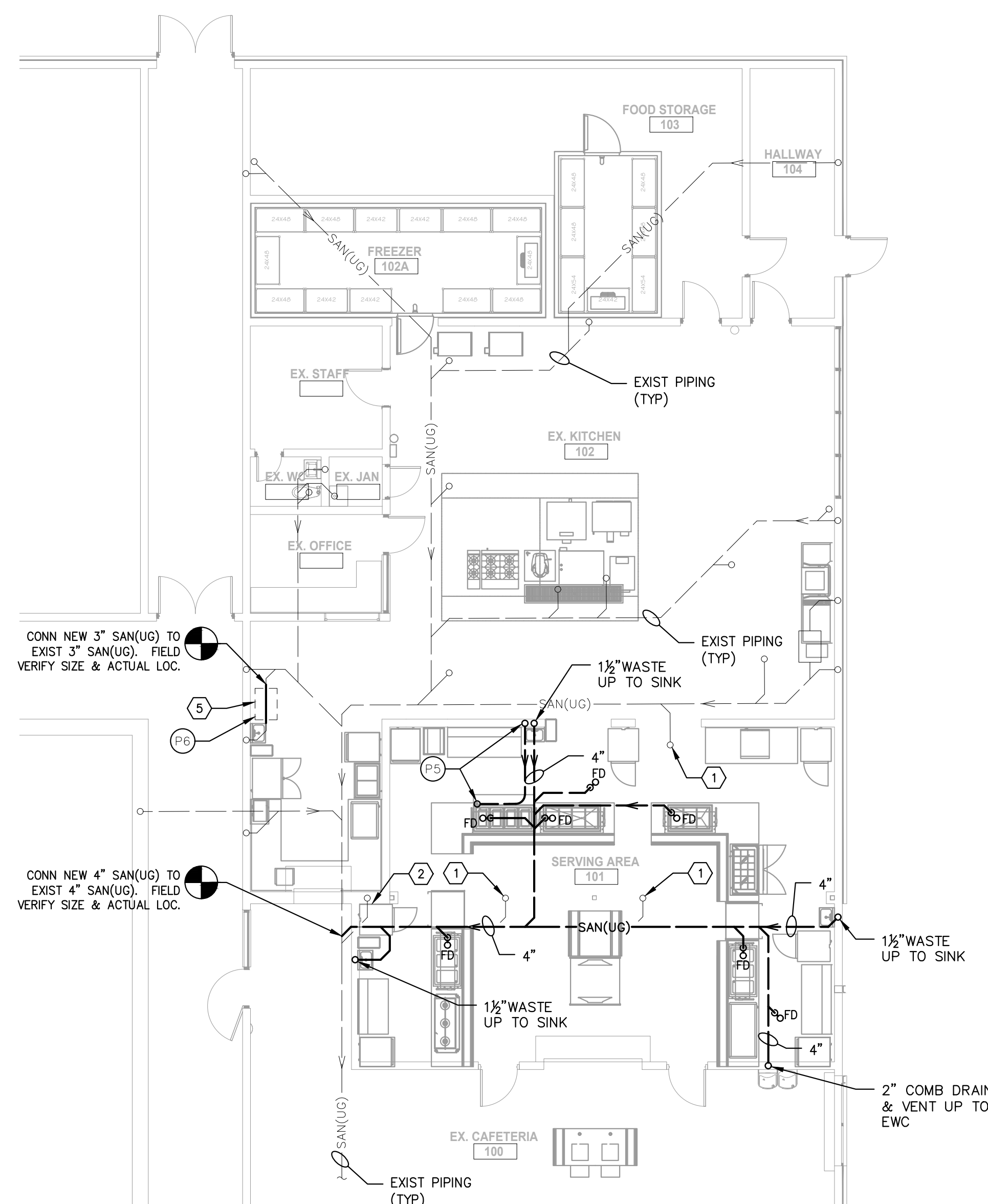
Project Manager	Discipline Lead
D. HOLTROP	B. HUYLER
Designer	Reviewer
C. SCHOLTEN	C. NOLAN
Date Issued	Project Number
2/15/2023	22013309A

Sheet Name

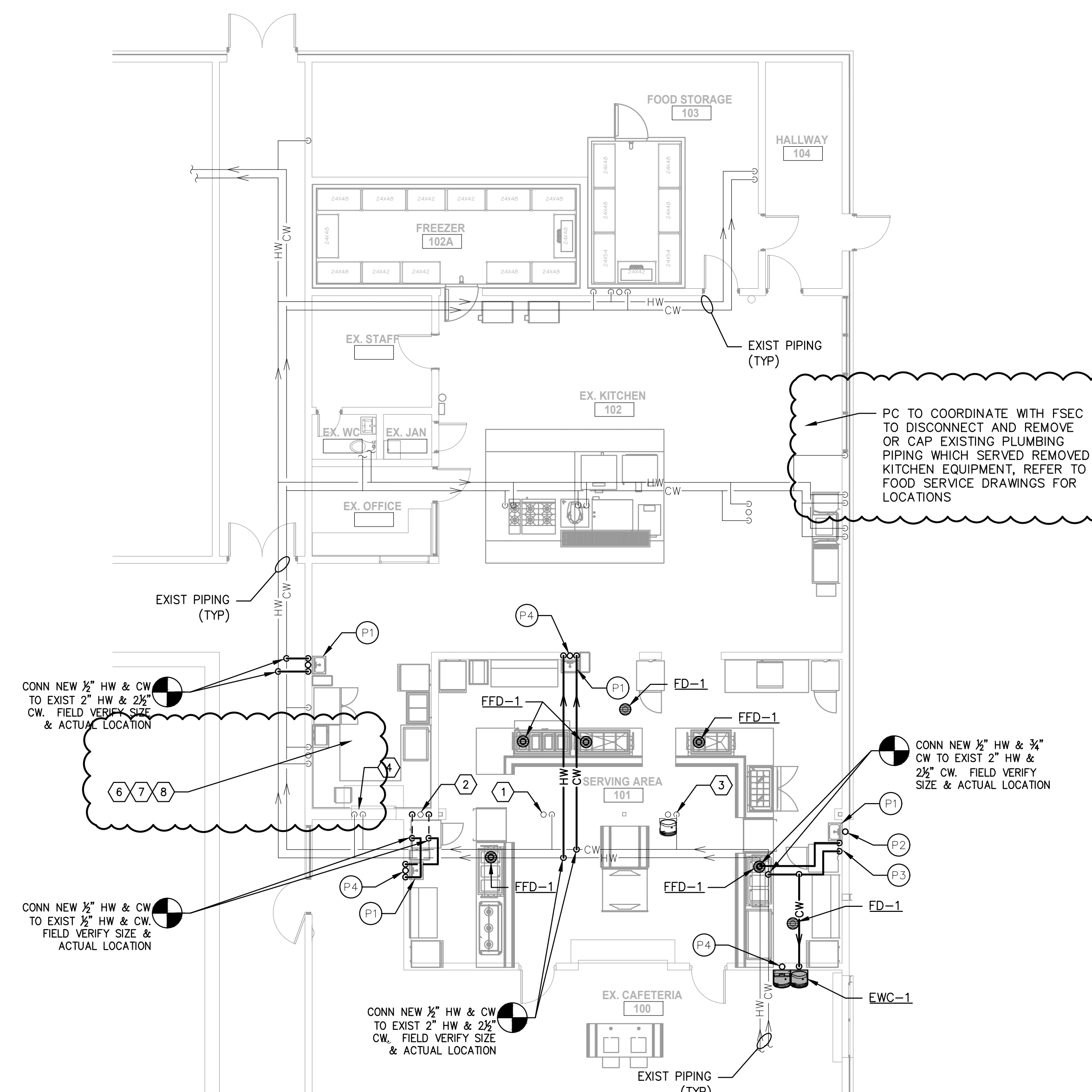
PLUMBING PLANS

Drawing Number

**P101**



**UNDERGROUND PLUMBING PLAN**  
SCALE: 1/8" = 1'-0"



**FIRST FLOOR PLUMBING PLAN**  
SCALE: 1/8" = 1'-0"